

HARBOR TRANSIT

NEW OPERATIONS CENTER

440 NORTH FERRY, GRAND HAVEN TOWNSHIP, 49417



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HARBOR TRANSIT
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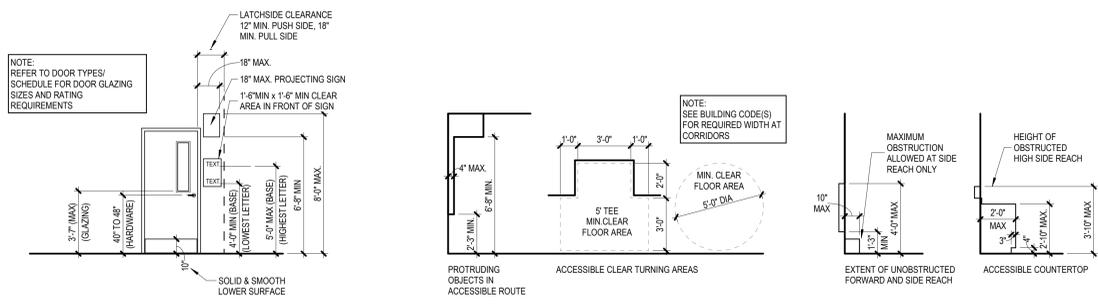
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DRAWN BY:
J. RIZOR
CHECKED BY:

TITLE DRAWING
TD001

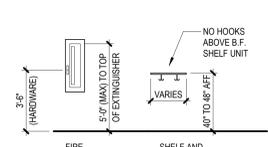
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A
B
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D
E



A5 DOORWAY FEATURES
NOT TO SCALE

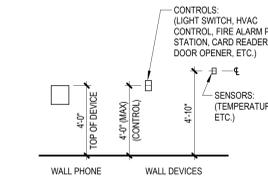
A4 ACCESSIBLE CLEARANCES
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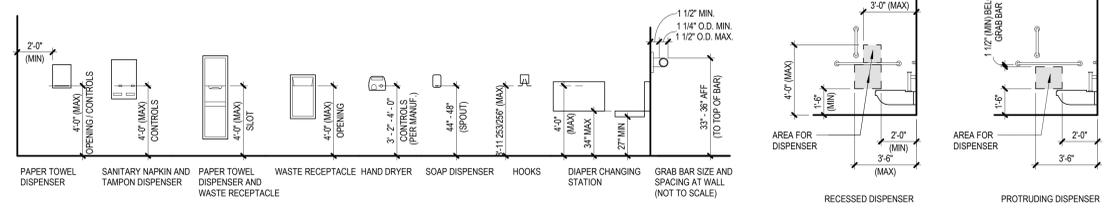
B6 MISC. ACCESSORIES
NOT TO SCALE



B5 PLUMBING FIXTURES
NOT TO SCALE

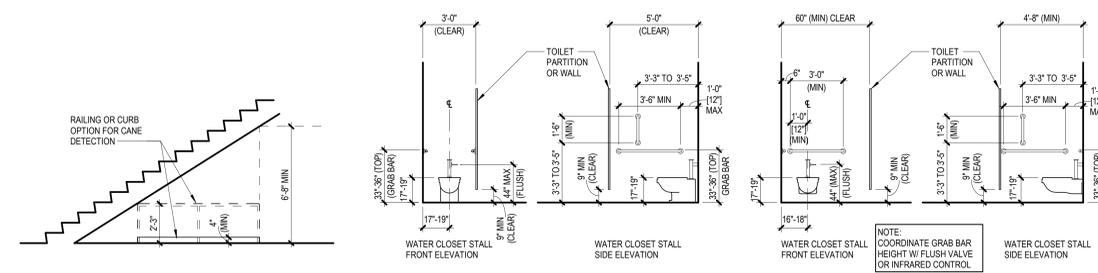


C6 MISCELLANEOUS DEVICES
NOT TO SCALE



C5 TOILET ROOM ACCESSORIES
NOT TO SCALE

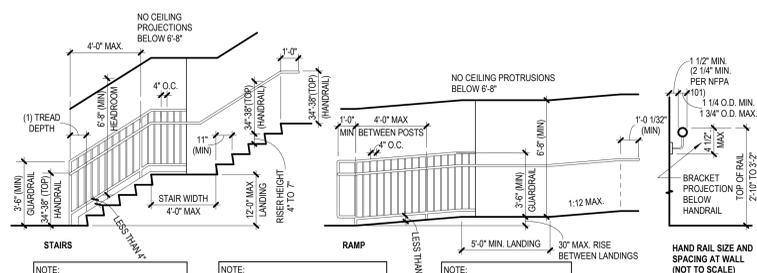
C3 TOILET STALL ACCESSORIES
NOT TO SCALE



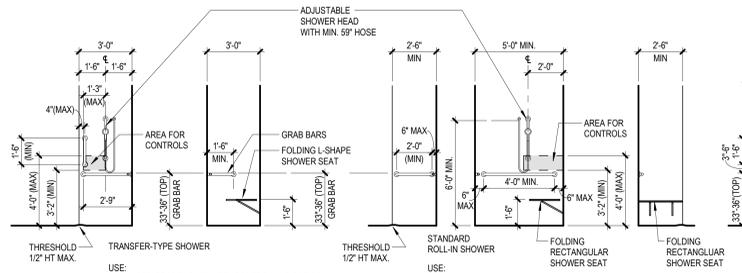
E5 REDUCED VERTICAL CLEARANCE
NOT TO SCALE

D4 AMBULATORY STALL
NOT TO SCALE

D3 WALL MOUNTED WATER CLOSET
NOT TO SCALE



E6 STAIRS AND RAMPS
NOT TO SCALE



E4 TUBS AND SHOWERS
NOT TO SCALE

PROGRESSIVE AE GENERAL SYMBOLOGY

DRAWING TITLES

PLAN TITLE
DRAWING TITLE
DRAWING SCALE
DRAWING NUMBER
DRAWING REFERENCE

REVISION SYMBOLS

PREVIOUS REVISION NUMBER
ACTIVE REVISION NUMBER
CLOUDED AREA OF REVISION

LOCATION SYMBOLS

BUILDING SECTION
WALL SECTION
DETAIL SECTION
EXTERIOR ELEVATION
INTERIOR ELEVATION
CALLOUT REFERENCE
MATCHLINE
DATING REFERENCE FOR CONTINUATION

DATUM SYMBOLS

NEW COLUMN GRID
EXISTING COLUMN GRID
LEVEL
SPOT ELEVATION

TAGS

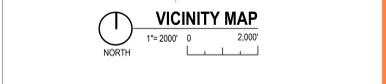
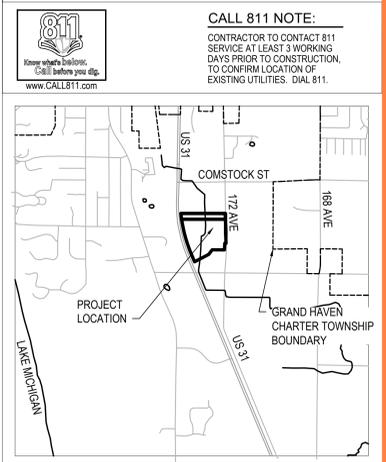
ROOM TAG
DOOR TAG
RESTROOM ACCESSORY TAG
WINDOW TAG
CEILING TAG

SYMBOLS

BREAK LINE

PROGRESSIVE AE GENERAL ABBREVIATIONS

AC	AIR CONDITIONING	MATL	MATERIAL(S)
AV	AUDIO / VIDEO AUDIO / VISUAL	MAX	MAXIMUM
ACC	ACCESSIBLE ACCESSIBILITY	MCM	METAL COMPOSITE MATERIAL
ACM	ALUMINUM CEILING PANELS	MECH	MECHANICAL
ACP	ACOUSTICAL CEILING PANELS	MFR	MANUFACTURER, MANUFACTURED
ACT	ACOUSTICAL TILING	MIN	MINIMUM
ADA	AMERICANS WITH DISABILITIES	MISC	MISCELLANEOUS
AD	ADJUSTABLE	MO	MASONRY OPENING
ALT	ALTERNATE	MTD	MOUNTED
ALUM	ALUMINUM	MTL	METAL
AND	AND	NEC	NATIONAL ELECTRIC CODE
ARCH	ARCHITECT, ARCHITECTURAL	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
AUTO	AUTOMATIC	NIC	NOT IN CONTRACT
BIT	BITUMINOUS	NOM	NOMINAL
BLDG	BUILDING	NRC	NOISE REDUCTION COEFFICIENT
BLKG	BLOCKING	NTS	NOT TO SCALE
BO	BOTTOM OF	OC	ON CENTER
BORG	BEARING	ODI	OUTSIDE DIAMETER
CAB	CABINET, CABINETS	OFICI	OWNER FURNISHED, CONTRACTOR INSTALLED
CCTV	CLOSED-CIRCUIT TELEVISION	OFICU	OWNER FURNISHED, OWNER INSTALLED
CFICI	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	OH	OVERHEAD
CFIOW	CONTRACTOR FURNISHED / OWNER INSTALLED	OHD	OVERHEAD DOOR
CFMF	COLD FORMED METAL FRAMING	OPP	OPPOSITE
CG	CORNER GUARD	ORD	OVERFLOW ROOF DRAIN
ALUM	ALUMINUM	PERF	PERFORATE, PERFORATED
AND	AND	PERP	PERPENDICULAR
ARCH	ARCHITECT, ARCHITECTURAL	PLAM	PLASTIC LAMINATE
AUTO	AUTOMATIC	PLBG	PLUMBING
BIT	BITUMINOUS	COL	COLUMN
BLDG	BUILDING	PNT	PAINT, PAINTED
BLKG	BLOCKING	PREFN	PREFINISHED
BO	BOTTOM OF	CONST	CONSTRUCTION
BORG	BEARING	CONT	CONTINUOUS, CONTINUATION
CAB	CABINET, CABINETS	COORD	COORDINATE
CCTV	CLOSED-CIRCUIT TELEVISION	CPT	CARPET
CFICI	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	CR	CARD READER
CFIOW	CONTRACTOR FURNISHED / OWNER INSTALLED	CSMT	CASEMENT
CFMF	COLD FORMED METAL FRAMING	CTR	CENTER
CG	CORNER GUARD	CTV	CABLE TELEVISION
ALUM	ALUMINUM	D	DEEP
AND	AND	DEFS	DEPTH
ARCH	ARCHITECT, ARCHITECTURAL	DEFS	DEPTH
AUTO	AUTOMATIC	DEFS	DEPTH
BIT	BITUMINOUS	DEFS	DEPTH
BLDG	BUILDING	DEFS	DEPTH
BLKG	BLOCKING	DEFS	DEPTH
BO	BOTTOM OF	DEFS	DEPTH
BORG	BEARING	DEFS	DEPTH
CAB	CABINET, CABINETS	DEFS	DEPTH
CCTV	CLOSED-CIRCUIT TELEVISION	DEFS	DEPTH
CFICI	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	DEFS	DEPTH
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AND	AND	DEFS	DEPTH
ARCH	ARCHITECT, ARCHITECTURAL	DEFS	DEPTH
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BLDG	BUILDING	DEFS	DEPTH
BLKG	BLOCKING	DEFS	DEPTH
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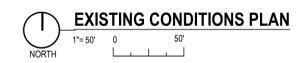


GENERAL NOTES

1. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
3. REFER TO DRAWING ___ FOR BENCHMARK INFORMATION.
4. ALL MATERIAL, SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
5. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
6. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
7. EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRIFLINE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRIFLINE.
8. WORK WITHIN FLOODPLAIN/WETLANDS TO BE COMPLETED ACCORDING TO MDEQ PERMIT NUMBER _____ ISSUED _____.

LEGEND

	MONUMENT
	PROPERTY IRON SET
	PROPERTY IRON FOUND
	TRAFFIC SIGNAL POLE
	BOLLARD LIGHT
	LIGHT POLE
	FLOOD LIGHT
	SIGN
	FLAG POLE
	CLEANOUT
	POWER POLE
	TELEPHONE POLE
	ELECTRICAL HAND HOLE
	TEL. ELEC. CATV. GAS WATER RISER
	TEL. ELEC. CATV. GAS WATER MANHOLE
	TEL. ELEC. CATV. GAS MARKER
	CATCH BASIN
	MANHOLE
	SPRINKLER
	VALVE & BOX
	HYDRANT
	SPOT ELEVATION
	MAJOR CONTOUR - 5 FT. INTERVAL
	MINOR CONTOUR - 1 FT. INTERVAL
	GUARD RAIL
	FENCE LINE
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND FIBER OPTIC LINE
	UNDERGROUND ELECTRIC LINE
	DITCH CENTERLINE, TOE OF SLOPE
	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE & BRUSH LINE
	BUILDING
	EXISTING WETLAND 11.91 ACRES



EXISTING CONDITIONS PLAN

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 www.CALL811.com

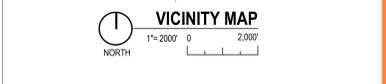
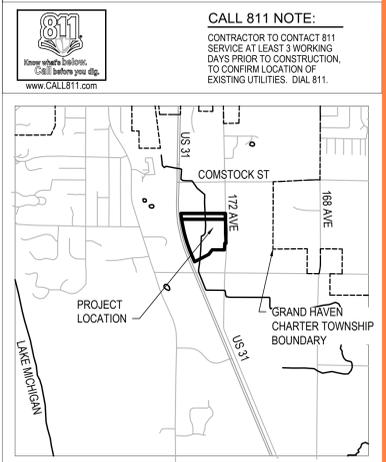
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 330 South Tryon St. Suite 501 Charlotte, NC 28202 (704) 331-8080
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ISSUANCE
 03/29/2024 SCHEMATIC DESIGN
 PROJECT NUMBER 70800004
 PROJECT MANAGER S HORTON
 PROFESSIONAL R LAPLACA
 DRAWN BY H. TELESCO
 CHECKED BY

EXISTING CONDITIONS PLAN C101



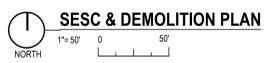
SITE CLEARING AND DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
2. NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SESC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
3. ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
4. NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
5. REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
6. THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
7. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
8. EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
9. ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
10. PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN.
11. TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP TIE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
12. CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
13. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
14. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
15. SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.
16. ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.

LEGEND

	BUILDING REMOVAL
	BITUMINOUS PAVEMENT REMOVAL
	CONCRETE REMOVAL
	PAVEMENT MILLING
	WOODED / BRUSH REMOVAL
	TREE REMOVAL
	REMOVE ITEM
	SAWCUT
	ABANDON UTILITY LINE
	REMOVE UTILITY LINE

ALL ITEMS IN BOLD TO BE REMOVED UNLESS OTHERWISE NOTED.



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CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

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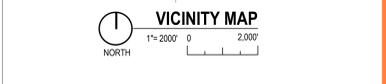
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 NOT FOR CONSTRUCTION
 COA ARCHITECT COA ENGINEER
 14823 172ND AVE GRAND HAVEN, MI 49417

ISSUANCE
 03/20/2024 SCHEMATIC DESIGN
 PROJECT NUMBER: 7080004
 PROJECT MANAGER: S HORTON
 PROFESSIONAL: R LAPLACA
 DRAWN BY: R LAPLACA
 CHECKED BY:

SSC & DEMOLITION PLAN C102



CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.



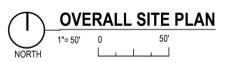
ZONING NOTES

ZONE DISTRICT:	AG
ADJACENT ZONING:	N, PUD, E, IN, S, PUD, W, U.S.31
PARCEL SIZE:	PARCEL 1: 170-03-33-300-013 4.77 ACRES PARCEL 2: 170-03-33-300-007 28.85 ACRES 30.62 ACRES
REQUIRED SETBACKS: (BASED ON C-2)	
FRONT:	50 FEET
SIDE:	10 FEET
REAR:	20 FEET
PARKING SETBACK:	10 FEET
PARKING PROVIDED:	
STANDARD (BY 18'):	125
BARRIER FREE:	
TOTAL SPACES:	125
GREENSPACE REQUIRED:	— %
GREENSPACE PROVIDED:	— %

- GENERAL SITE LAYOUT NOTES**
- ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
 - NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
 - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
 - CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
 - UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
 - ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
 - CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
 - ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
 - ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET GRAND HAVEN CHARTER TOWNSHIP STANDARDS.
 - CONTRACTOR TO PROTECT EXISTING IRRIGATION SYSTEM AS MUCH AS POSSIBLE. REPAIR DAMAGE TO EXISTING IRRIGATION SYSTEM AND RECONFIGURE SPRINKLER LAYOUT TO ACCOMMODATE THE NEW IMPROVEMENTS.

LEGEND

	EXISTING WETLAND 11.91 ACRES
	IMPACTED WETLAND 0.30 ACRES



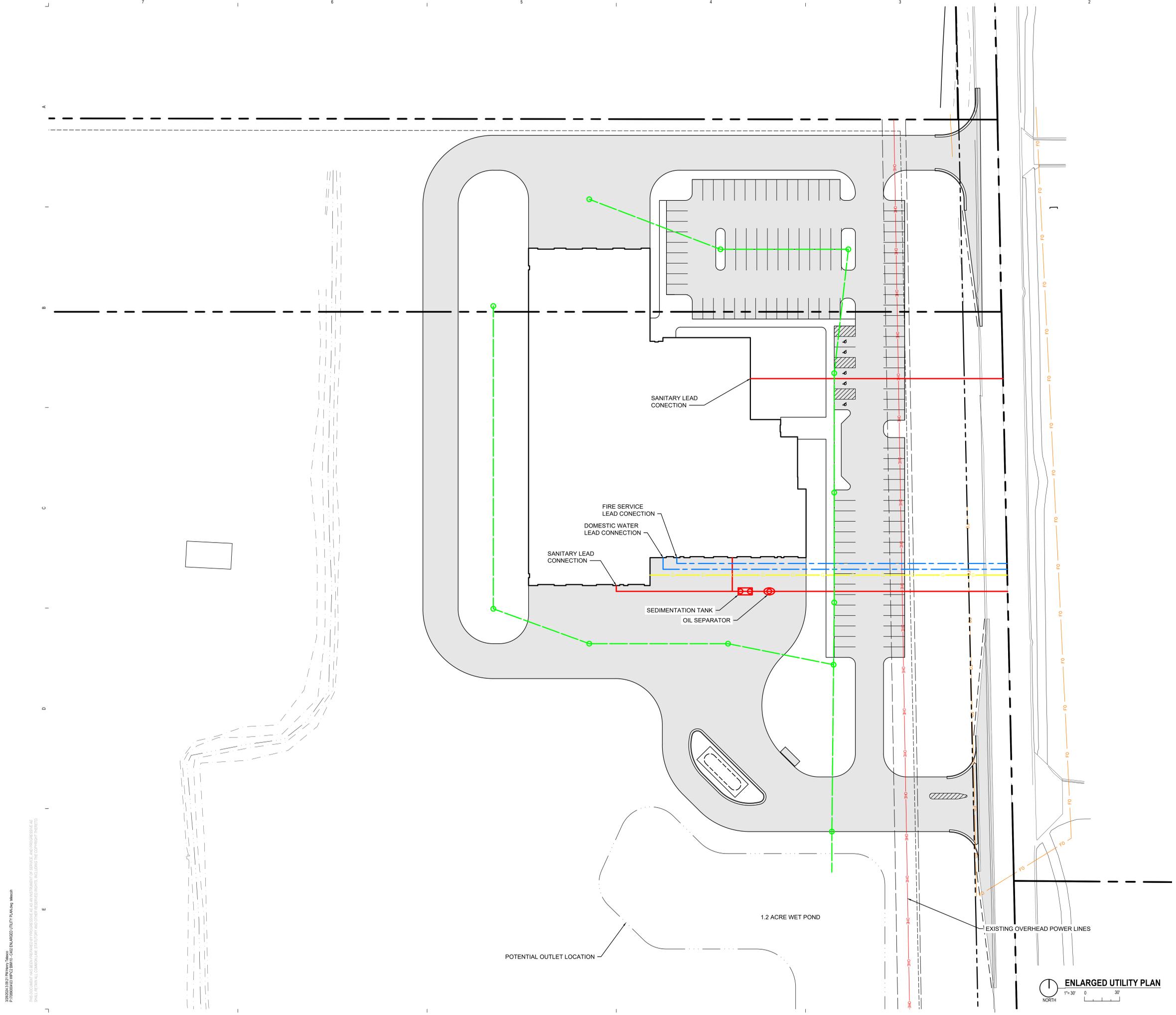
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 330 South Trent St. Suite 500 | Charlotte, NC 28202 (704) 331-6800 | www.progressiveae.com

ISSUANCE
 03/20/2024 SCHEMATIC DESIGN
 PROJECT NUMBER: 7080004
 PROJECT MANAGER: S HORTON
 PROFESSIONAL: R. LAPLACA
 DRAWN BY: R. LAPLACA
 CHECKED BY:

OVERALL SITE PLAN C201



CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

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ENLARGED UTILITY PLAN
 1"=30'
 NORTH

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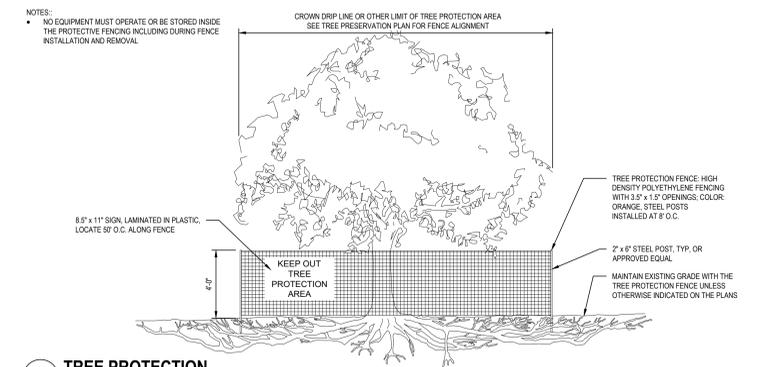
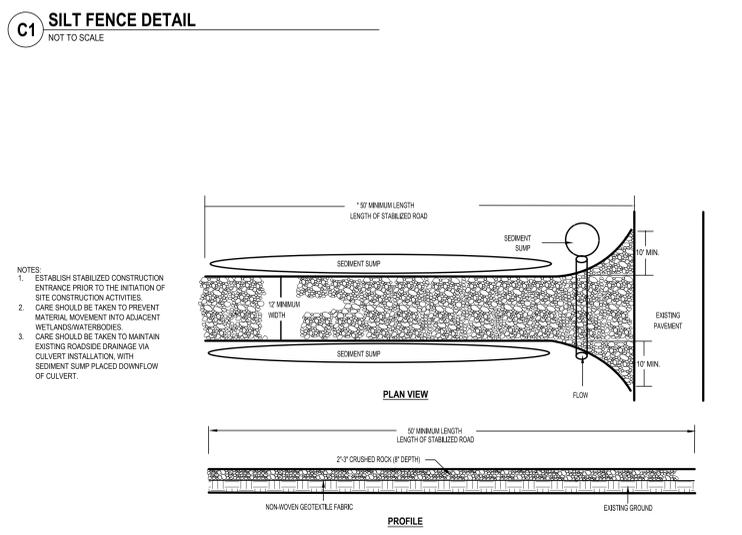
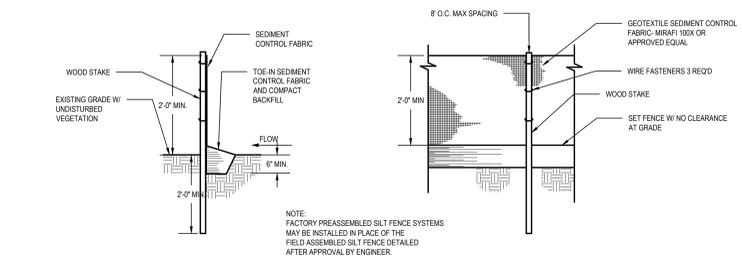
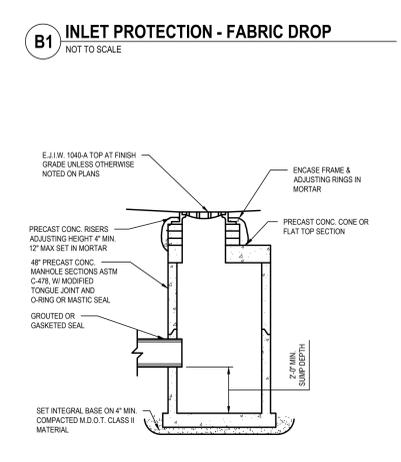
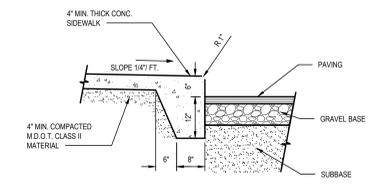
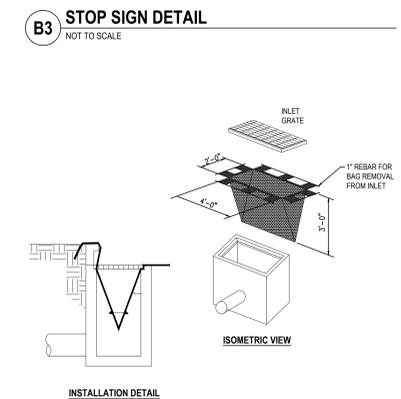
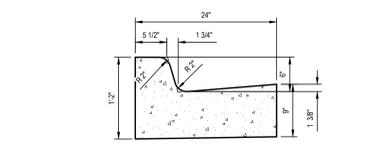
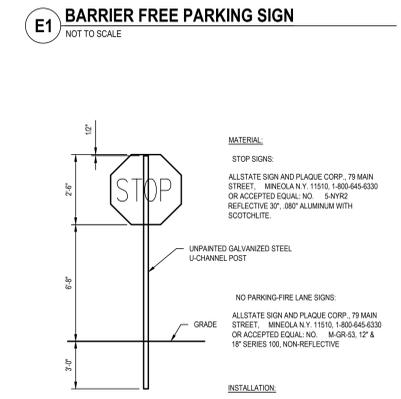
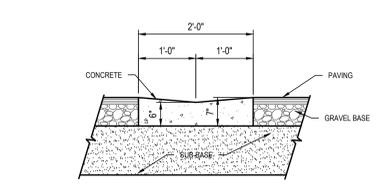
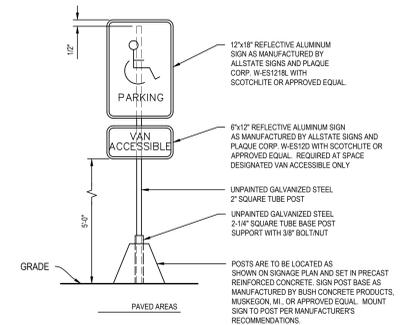
PROJECT NUMBER: 7080004
 PROJECT MANAGER: S HORTON
 PROFESSIONAL: R LAPLACA
 DRAWN BY: R LAPLACA
 CHECKED BY:

ENLARGED UTILITY PLAN C402

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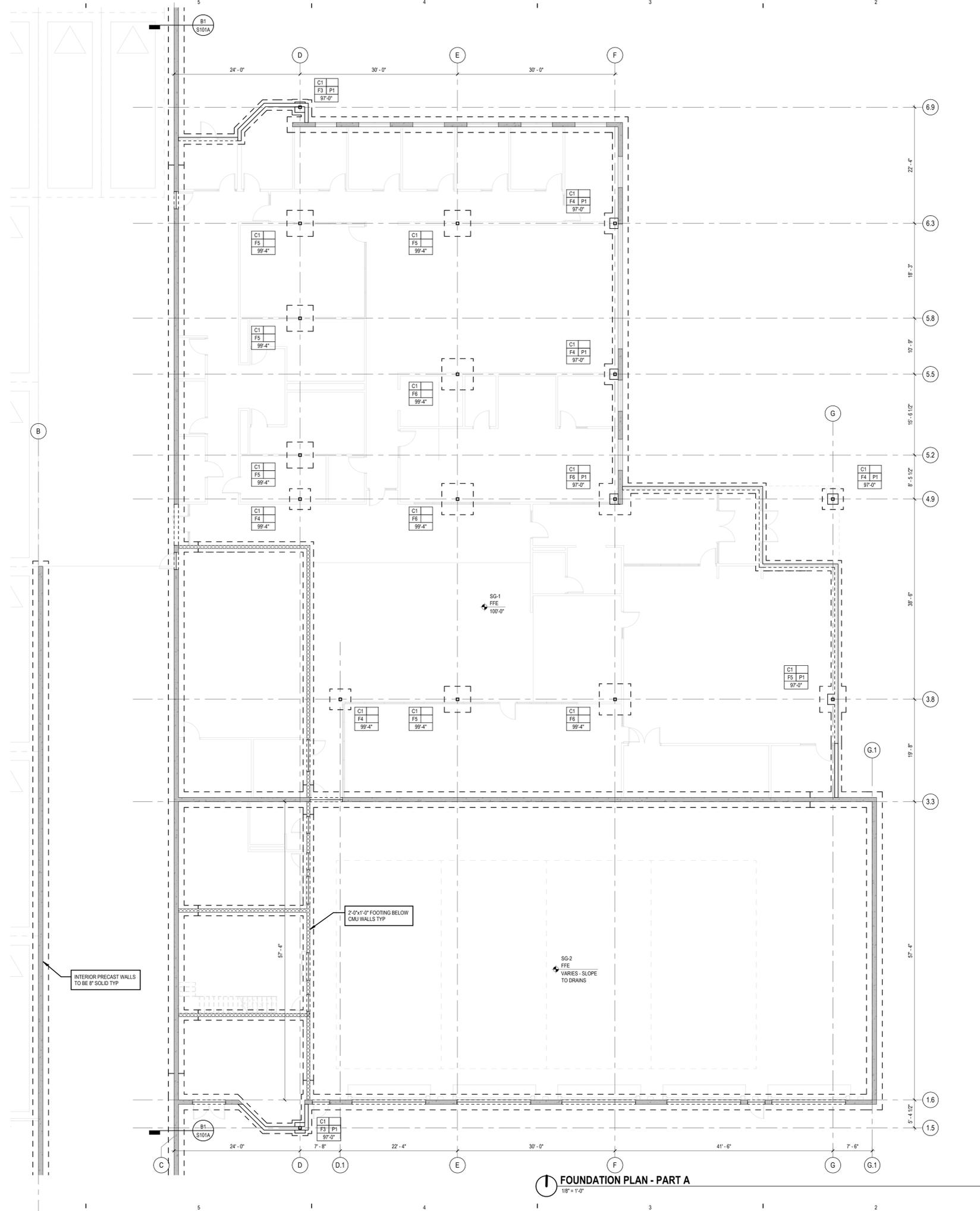
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ISSUANCE
 03/29/2024 SCHEMATIC DESIGN



SLAB ON GRADE SCHEDULE						
TYPE	THICKNESS	REINFORCEMENT	VAPOR RETARDER	FLOOR FLATNESS		REMARKS
				F (F)	F (L)	
SG-1	4"	6w6 W2.5W2.9 WWR	YES	35	25	-
SG-2	6"	#4 @ 18" OC	YES	35	-	SLOPED TO DRAINS

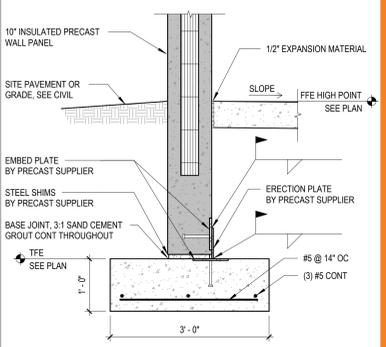
NOTES:
1. ALL SLABS TO BE PLACED OVER VAPOR RETARDER (WHERE INDICATED) OVER 6" MINIMUM COMPACTED GRANULAR SUBBASE (UNLESS NOTED OTHERWISE IN GEOTECH REPORT).
2. WHERE WWR OR BARS INDICATED, PLACE 1/2" FROM BOTTOM OF CONTROL JOINT CUT, UNLESS NOTED OTHERWISE.



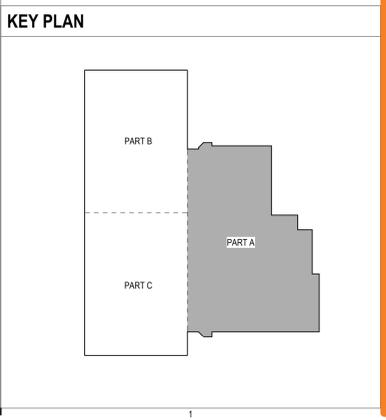
FOUNDATION PLAN - PART A
1/8" = 1'-0"

FOOTING SCHEDULE						
MARK	WIDTH	LENGTH	DEPTH	REINFORCING	COMMENTS	
F3	3'-0"	3'-0"	1'-0"	(4) #5 EW BOT		
F4	4'-0"	4'-0"	1'-0"	(5) #5 EW BOT		
F5	5'-0"	5'-0"	1'-0"	(6) #5 EW BOT		
F6	6'-0"	6'-0"	1'-0"	(7) #5 EW BOT		
F7	7'-0"	7'-0"	1'-0"	(8) #5 EW BOT		
F8	8'-0"	8'-0"	1'-0"	(9) #5 EW BOT		

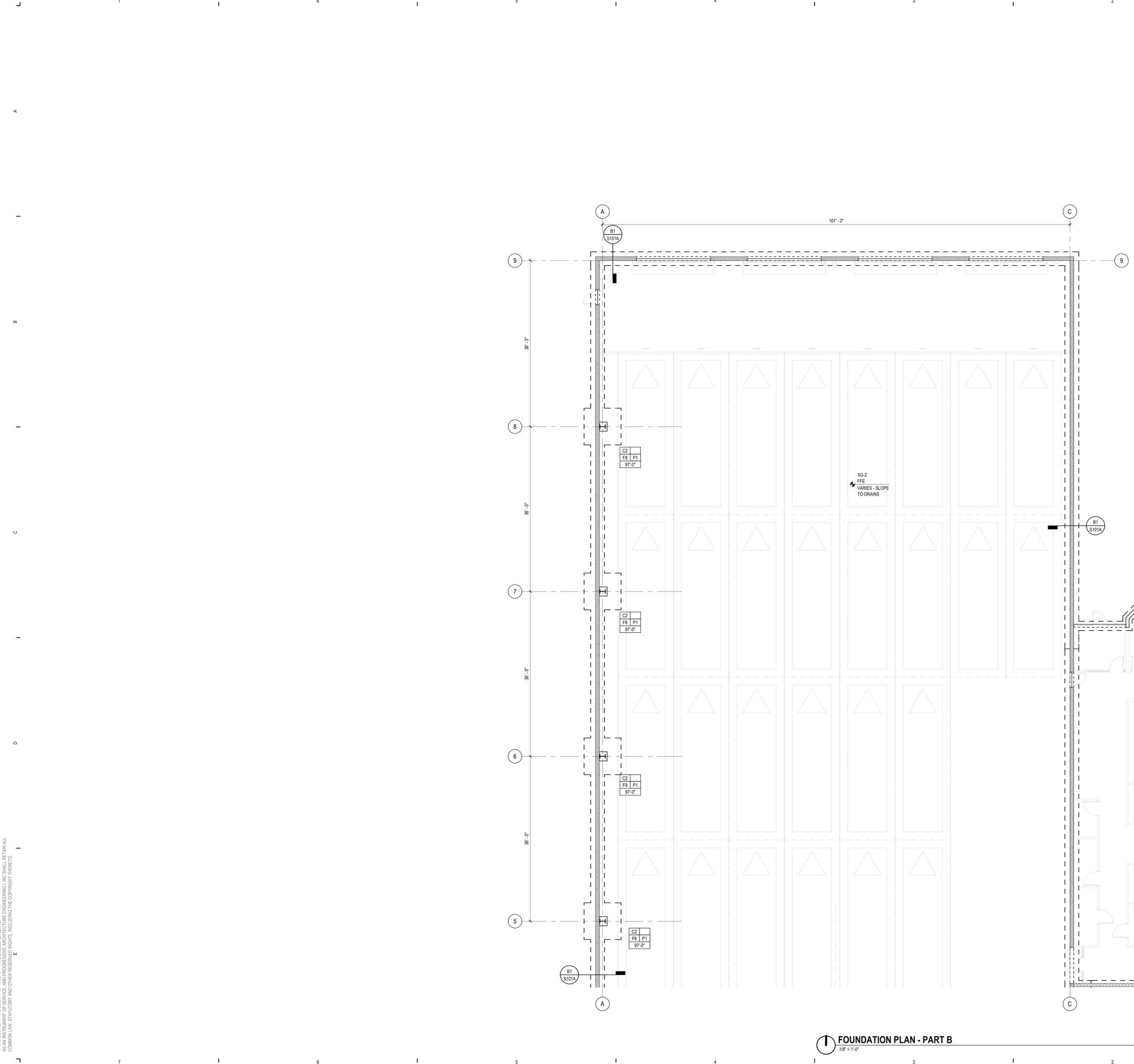
COLUMN SCHEDULE		
MARK	SIZE	COMMENTS
C1	HSS6x6x3/8	
C2	W14x61	



B1 DETAIL
3/4" = 1'-0"



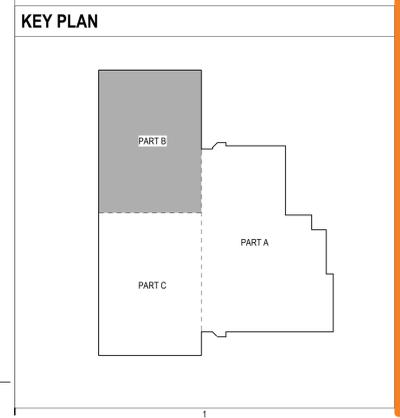
KEY PLAN



FOUNDATION PLAN - PART B
1/8" = 1'-0"

FOOTING SCHEDULE					
MARK	WIDTH	LENGTH	DEPTH	REINFORCING	COMMENTS
F3	3'-0"	3'-0"	1'-0"	(4) #5 EW BOT	
F4	4'-0"	4'-0"	1'-0"	(5) #5 EW BOT	
F5	5'-0"	5'-0"	1'-0"	(6) #5 EW BOT	
F6	6'-0"	6'-0"	1'-0"	(7) #5 EW BOT	
F7	7'-0"	7'-0"	1'-0"	(8) #5 EW BOT	
F8	8'-0"	8'-0"	1'-6"	(9) #5 EW BOT	

COLUMN SCHEDULE		
MARK	SIZE	COMMENTS
C1	HSS6x6x3/8	
C2	W14x61	



FOUNDATION PLAN - PART B
S101B

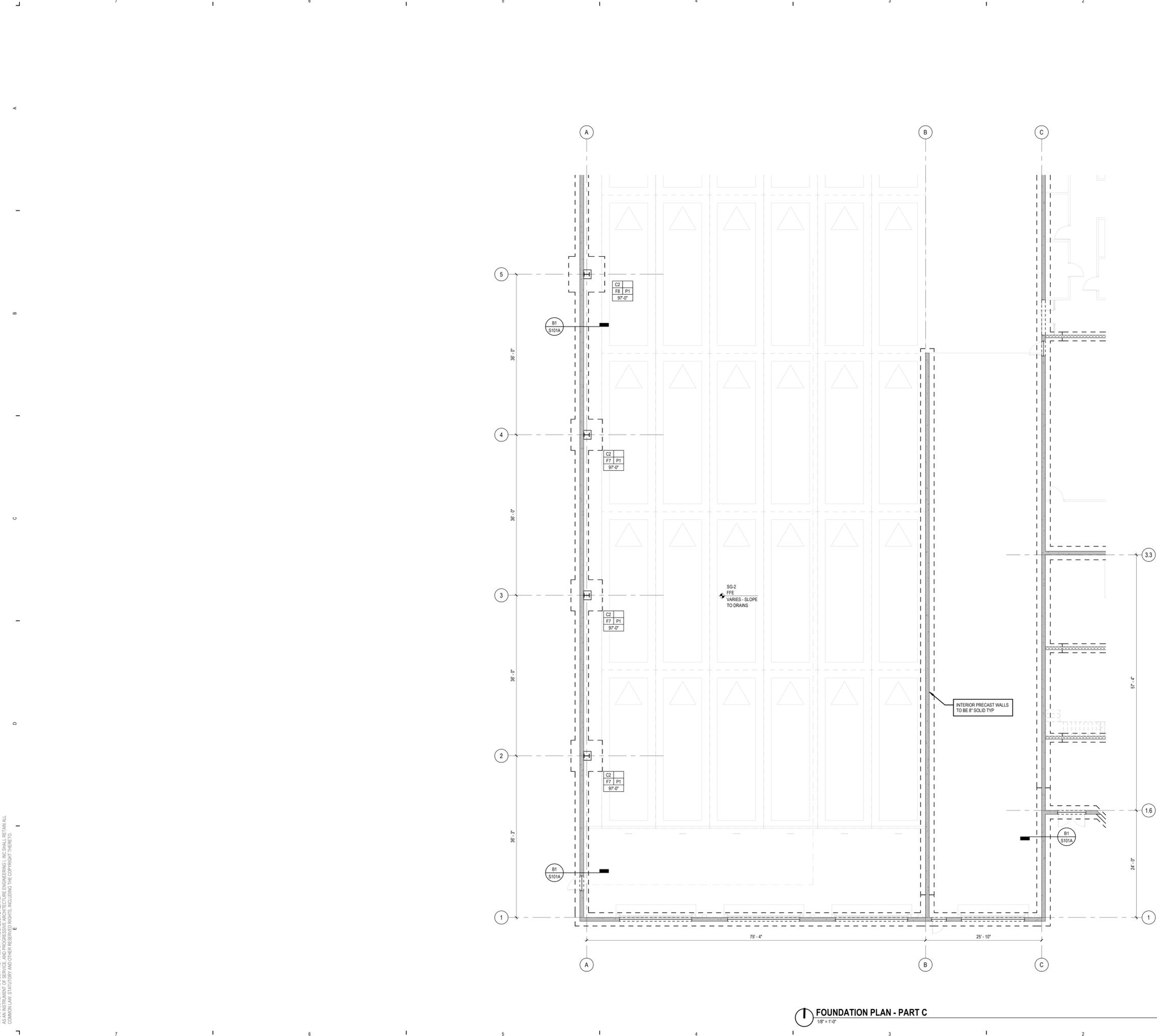
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ISSUANCE 03/20/2024 SCHEMATIC DESIGN

PROJECT NUMBER: 7800004
 PROJECT MANAGER: S. HORTON
 PROFESSIONAL: E. FLANNERY
 DRAWN BY: A. PETERSON
 CHECKED BY:

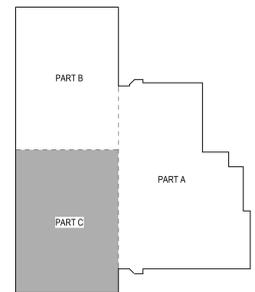


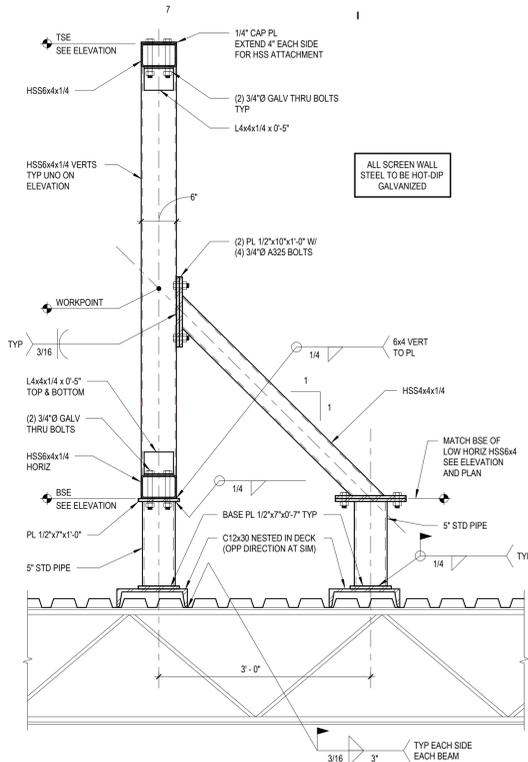
FOUNDATION PLAN - PART C
1/8" = 1'-0"

FOOTING SCHEDULE					
MARK	WIDTH	LENGTH	DEPTH	REINFORCING	COMMENTS
F3	3'-0"	3'-0"	1'-0"	(4) #5 EW BOT	
F4	4'-0"	4'-0"	1'-0"	(5) #5 EW BOT	
F5	5'-0"	5'-0"	1'-0"	(6) #5 EW BOT	
F6	6'-0"	6'-0"	1'-0"	(7) #5 EW BOT	
F7	7'-0"	7'-0"	1'-0"	(8) #5 EW BOT	
F8	8'-0"	8'-0"	1'-0"	(9) #5 EW BOT	

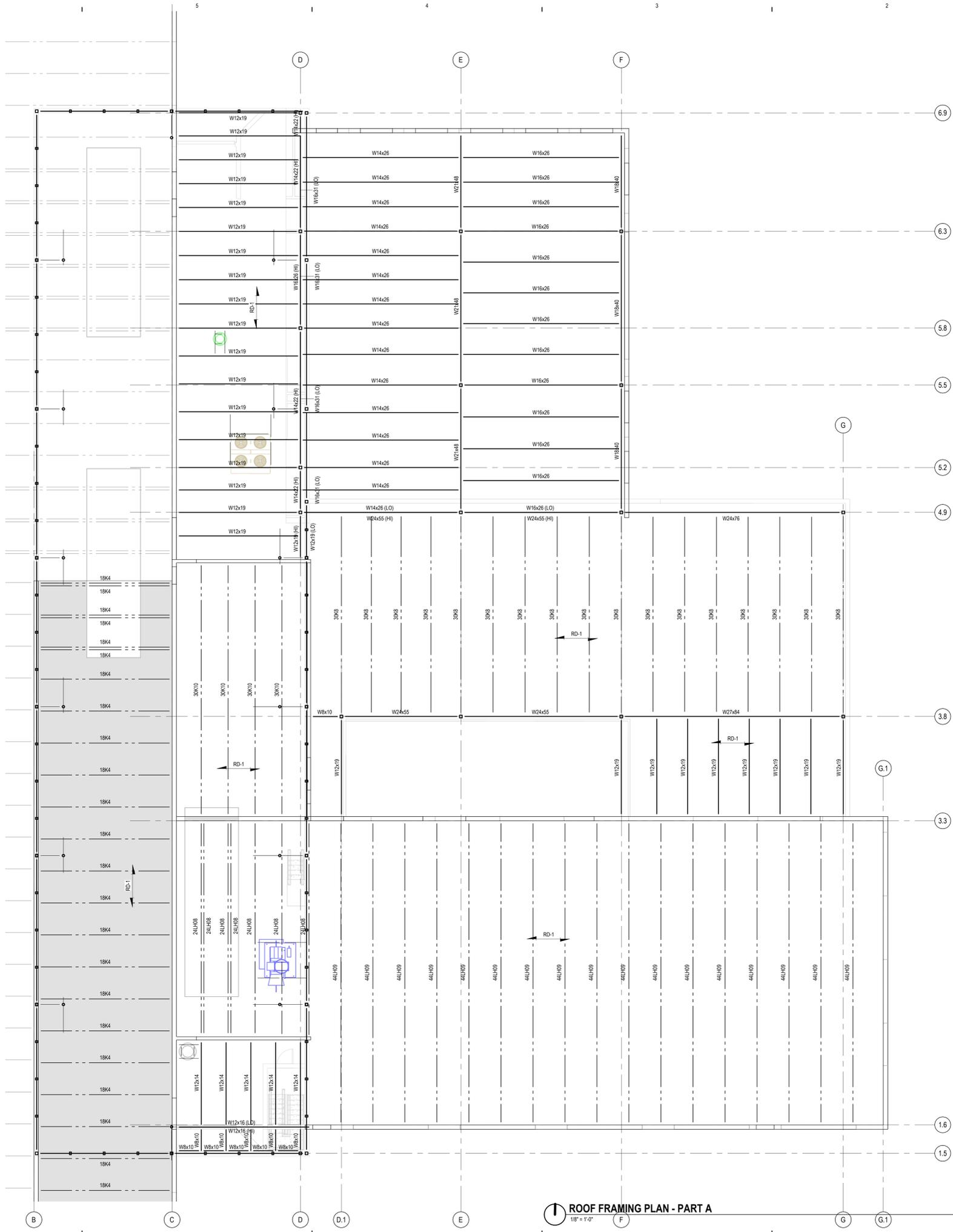
COLUMN SCHEDULE		
MARK	SIZE	COMMENTS
C1	HSS6x4x3/8	
C2	W14x61	

KEY PLAN



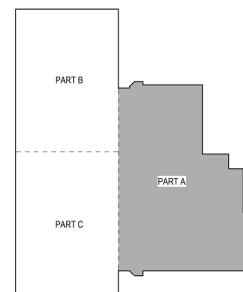


B7 TYPICAL SCREEN WALL DETAIL
NOT TO SCALE



ROOF FRAMING PLAN - PART A
1/8" = 1'-0"

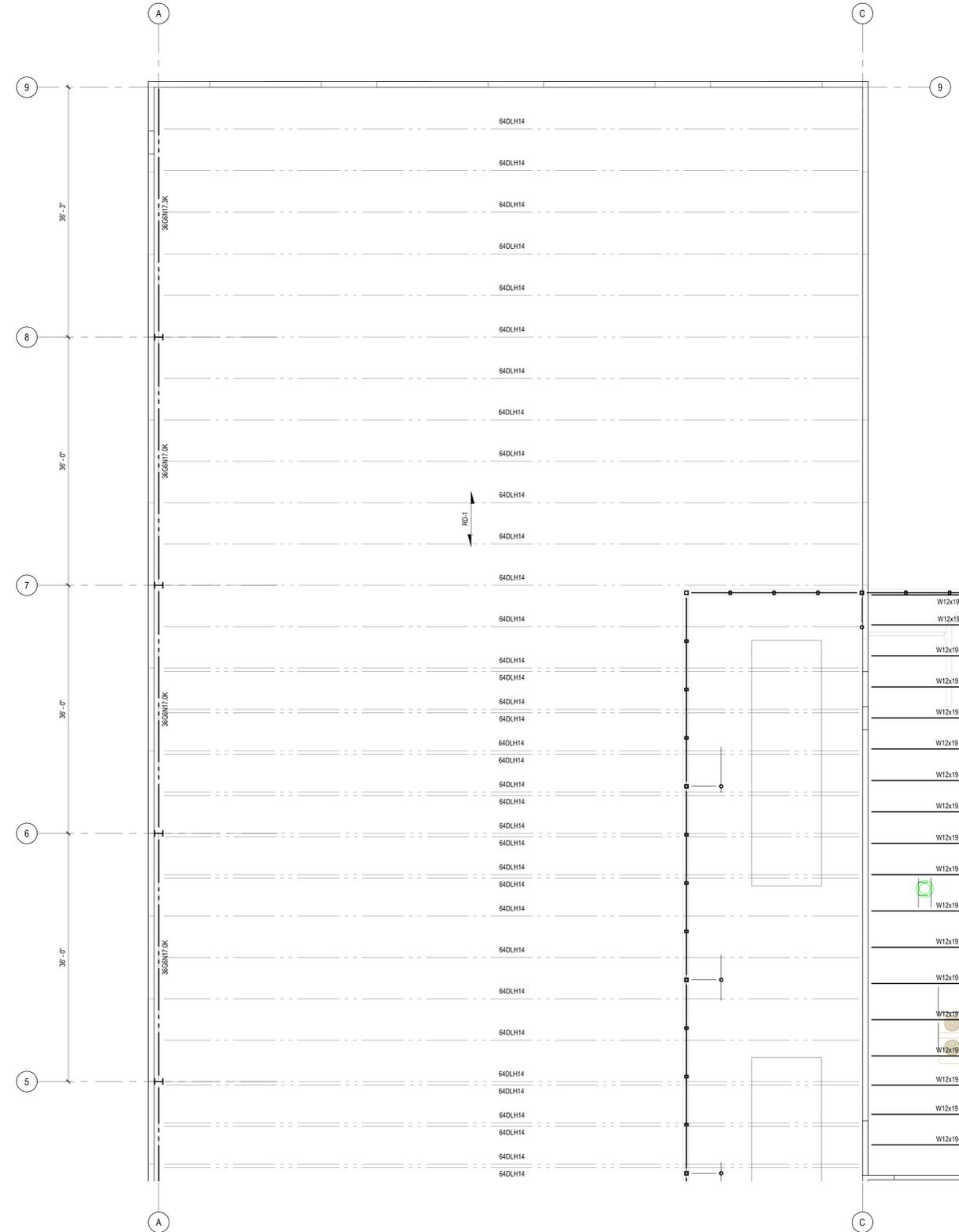
KEY PLAN



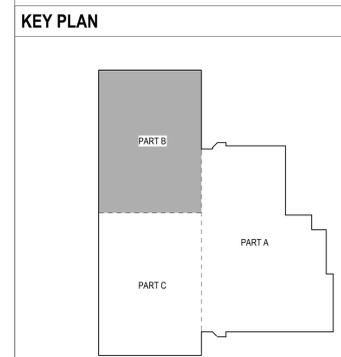
ROOF FRAMING PLAN - PART B
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ROOF DECK SCHEDULE												
ROOF DECK DESIGNATION	DECK TYPE	GAGE	MIN. YIELD F_y	MINIMUM DECK SECTION PROPERTIES (PER FOOT WIDTH)				DECK FASTENERS		MIN. SPAN COND.	REMARKS	
				I_x (in ⁴ /ft)	S_x (in ³ /ft)	I_y (in ⁴ /ft)	S_y (in ³ /ft)	WELD PATTERN	# SIDELAP FASTENERS			
RD-1	1.5B	20	33 ksi	0.201	0.234	0.222	0.247	3/64	4 PER SPAN	3-SPAN UNO	-	

- NOTES:
- ROOF DECK SHALL BE WELDED TO SUPPORTS WITH 5/8" DIAMETER PUDDLE WELDS IN THE BOTTOM OF THE FLUTES USING THE WELD PATTERN INDICATED.
 - ROOF DECK SIDELAPS SHALL BE FASTENED USING #10 TEK SCREWS WITH THE MINIMUM NUMBER OF FASTENERS PER SPAN (BETWEEN SUPPORTS) AS INDICATED.
 - ROOF DECK SHALL BE ATTACHED TO ALL PERIMETER EDGE ANGLES, EAVE STRUTS, OR MEMBERS AROUND OPENINGS AND PENETRATIONS WITH 3/8" DIAMETER PUDDLE WELDS IN THE BOTTOM OF THE FLUTES AT 6" OC UNLESS NOTED OTHERWISE.



1 ROOF FRAMING PLAN - PART B
1/8" = 1'-0"



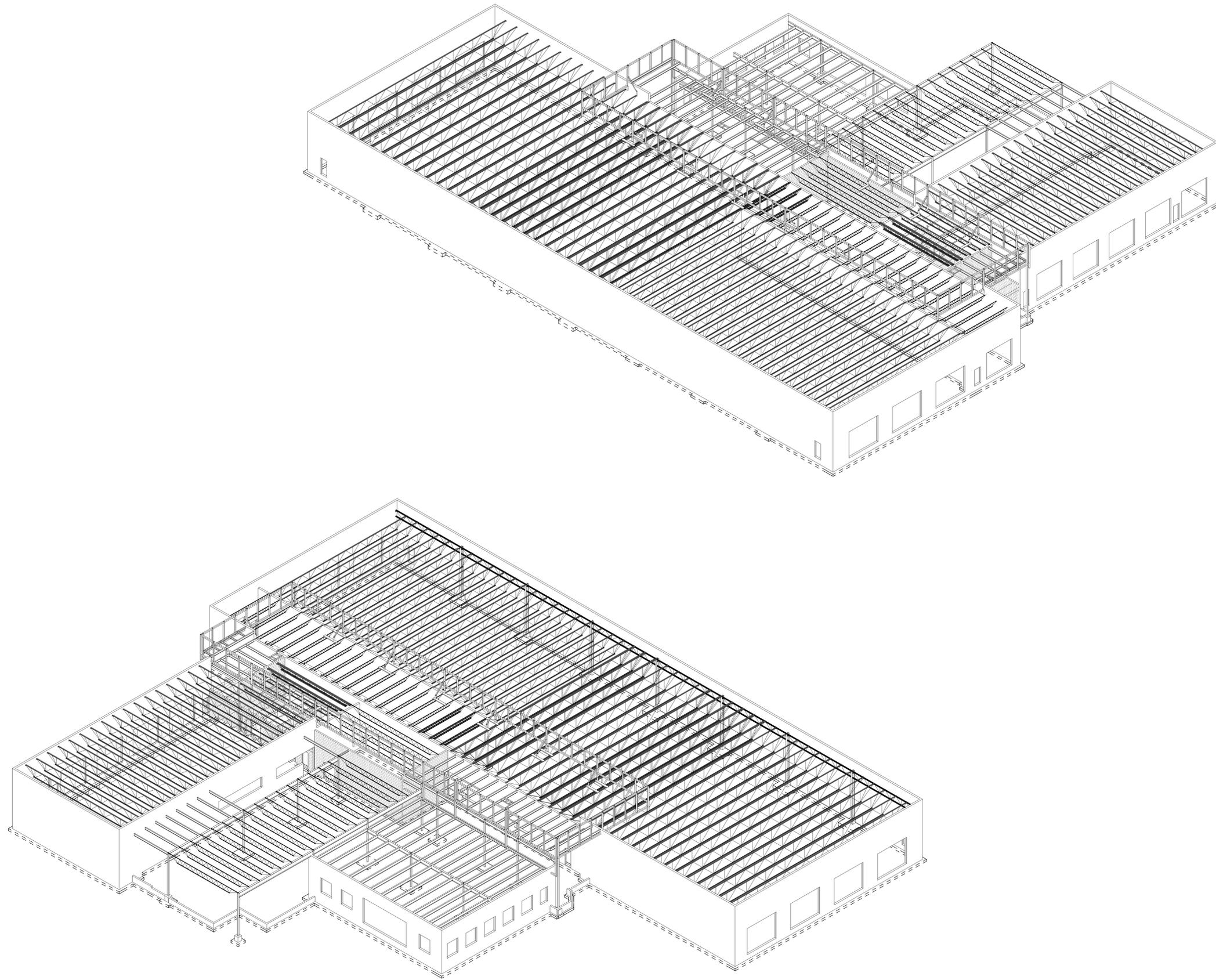
KEY PLAN

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ISSUANCE
03/20/24 SCHEMATIC DESIGN

PROJECT NUMBER
7080004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
E. E. FLANNERY
DRAWN BY
A. PETERSON
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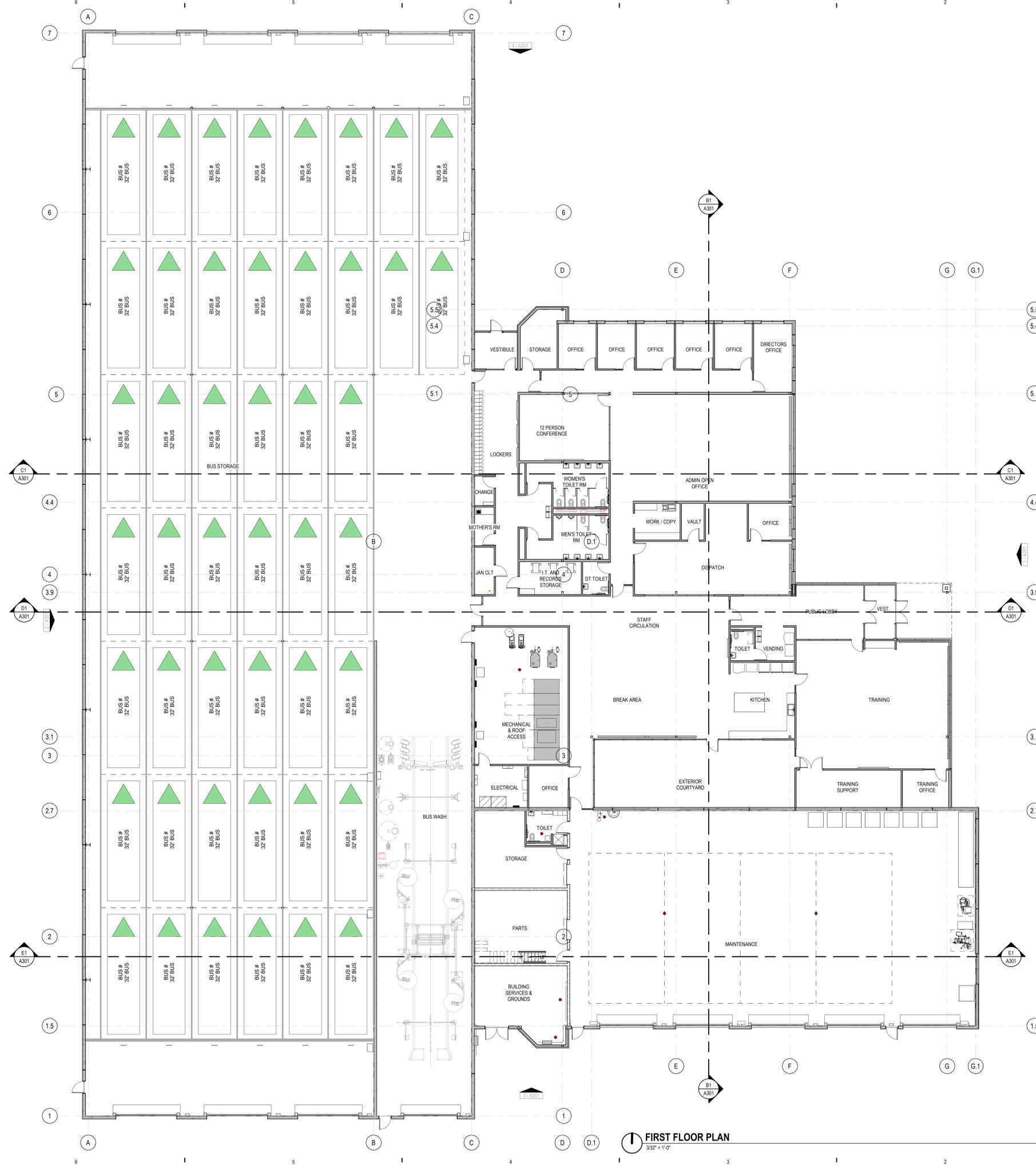


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ISSUANCE
03/20/2024 SCHEMATIC DESIGN

PROJECT NUMBER
7080004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
E. FLANNERY
DRAWN BY
A. PETERSON
CHECKED BY



- ### GENERAL NOTES
- DO NOT SCALE DRAWINGS.
 - FINISH FLOOR ELEVATION = 100'-0". REFER TO CIVIL DRAWINGS FOR SITE DATUM ELEVATION EQUIVALENT.
 - EXISTING BUILDING CONDITIONS BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
 - BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
 - REFER TO CODE COMPLIANCE DRAWING(S) FOR LOCATIONS OF RATED ASSEMBLIES AND CORE SUMMARY.
 - ABBREVIATIONS, TYPICAL MOUNTING DIMENSIONS, AND ANNOTATION SYMBOLS ARE SHOWN ON GENERAL INFORMATION DRAWINGS.
 - WALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE AS SHOWN OR EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
 - PATCH ALL DISTURBED SURFACES WITH MATERIALS TO MATCH ADJACENT SURFACE CONSTRUCTION.
 - PROVIDE APPROVED SMOKE/FIRESTOPPING ASSEMBLIES AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT PARTITIONS IDENTIFIED ON CODE COMPLIANCE DRAWINGS.
 - OWNER FURNISHED EQUIPMENT IS SHOWN LIGHT DASHED FOR REFERENCE ONLY. REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
 - REFER TO INTERIORS FOR FINISHES INCLUDING WALL PROTECTION ITEMS.

- ### INTERIOR PARTITION GENERAL NOTES
- EXISTING WALL CONSTRUCTION
 - NEW STUD WALL CONSTRUCTION
 - NEW MASONRY WALL CONSTRUCTION
- CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK FLUTES AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
 - PROVIDE DEFLECTION TRACK AT THE TOP OF ALL INTERIOR NON-BEARING METAL STUD WALLS CAPABLE OF ACCOMMODATING 1" ROOF/FLOOR DEFLECTION.
 - REFER TO CODE COMPLIANCE PLAN FOR RATED WALL LOCATIONS. FIRE RATED AND SMOKE RESISTANT ASSEMBLIES SHALL BE CONTINUOUS, WITH OTHER PARTITIONS ABUTTING THEM.
 - PROVIDE FIRESTOPPING/ SMOKE SEALANT AT ALL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT ASSEMBLIES, CORRIDORS, AND FLOORS WITH OCCUPIABLE SPACES ABOVE AND BELOW.
 - PROVIDE ACOUSTICAL SEALANT AT ALL WALLS WITH ACOUSTICAL INSULATION.
 - PROVIDE 5/8" WATER RESISTANT GYPSUM WALLBOARD AT ALL WALLS OF TOILET ROOMS, WALLS RECEIVING TILE, AND WALLS BEHIND AND ADJACENT TO SINKS.
 - PROVIDE 5/8" TILE BACKER AT ALL WALLS OF SHOWER ENCLOSURES.
 - REFER TO STRUCTURAL DRAWINGS FOR MASONRY REINFORCING AND GROUTING.
 - PROVIDE BULLNOSE CONCRETE MASONRY UNITS AT EXPOSED SILLS AND AT ALL INTERIOR EXPOSED VERTICAL CORNERS, INCLUDING WINDOW AND DOOR JAMBS.
 - ALL WALLS ARE TYPE S3A UNLESS NOTED OTHERWISE.

INTERIOR PARTITION TAG LEGEND

CORE MATERIAL	CORE SIZE (NOMINAL)
S - STEEL STUDS	S 0 7/8"
W - WOOD STUDS	W 1 5/8"
C - CONCRETE	C 2 1/2"
M - MASONRY	M 2x (flat)
H - CH / SHAFTWALL	H 4 4"
	H 2x4
	H 6 6"
	H 6 6"
	H 10 10"
	H 12 12"

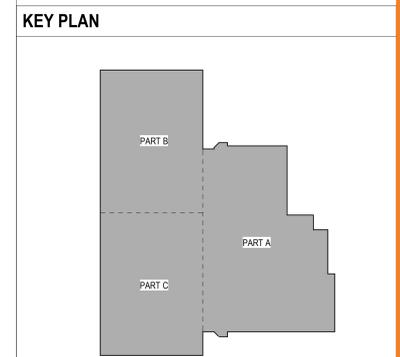
ACOUSTICAL INSULATION
PROVIDE ACOUSTICAL INSULATION AT TAGGED LOCATIONS.

PARTITION TYPE SUFFIX
REFER TO SCHEDULE BELOW

- ### INTERIOR PARTITION TYPE SUFFIXES
- A 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO DECK (OR HARD CEILING WHERE IT OCCURS)
 - B 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
 - C 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TAGGED SIDE TO DECK AND OTHER SIDE TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
 - D 5/8" GYPSUM BOARD ON ROOM SIDE ONLY; EXTEND TO DECK
 - E 5/8" GYPSUM BOARD ON ROOM SIDE ONLY; EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
 - F1 (1) LAYER 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO DECK ABOVE; 1 HR RATED UL DESIGN #U465
 - F2 (2) LAYERS 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO DECK ABOVE; 2 HR RATED UL DESIGN #U419
 - F3 (3) LAYERS 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO DECK ABOVE; 3 HR RATED UL DESIGN #U419
 - H1 (1) LAYER 5/8" GYPSUM BOARD ON ROOM SIDE; 1" SHAFT LINER TO DECK ABOVE ON OTHER SIDE; 1 HR RATED UL DESIGN #U415-A
 - H2 (2) LAYERS 5/8" GYPSUM BOARD ON ROOM SIDE; 1" SHAFT LINER TO DECK ABOVE ON OTHER SIDE; 2 HR RATED UL DESIGN #U415-B
 - H3 (3) LAYERS 5/8" GYPSUM BOARD ON ROOM SIDE; 1" SHAFT LINER TO DECK ABOVE ON OTHER SIDE; 3 HR RATED UL DESIGN #U415-G
 - K SAME AS _____ EXCEPT SPECIAL IMPACT RESISTANT GYPSUM BOARD
 - L SAME AS _____ EXCEPT WITH LEAD-LINED GYPSUM BOARD ASSEMBLY - REFER TO DETAILS
 - M DECORATIVE CMU SAME AS _____ TO STRUCTURE UNO - REFER TO ELEVATIONS AND DETAILS FOR SPECIFICS
 - P PARTIAL HEIGHT WALL SAME AS _____ (SEE PLAN FOR HEIGHT AFF)
 - R RATED MASONRY WALL PER UL DESIGN # _____
 - ST ACOUSTICAL STUD ASSEMBLY WITH SOUND DEADENING GYPSUM BOARD OVER RESILIENT CHANNELS (ONE SIDE) AND ACOUSTICAL SEALANT, TOP AND BOTTOM

KEYNOTES

NUMBER	NOTE



progressive ae

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HARBOR TRANSIT
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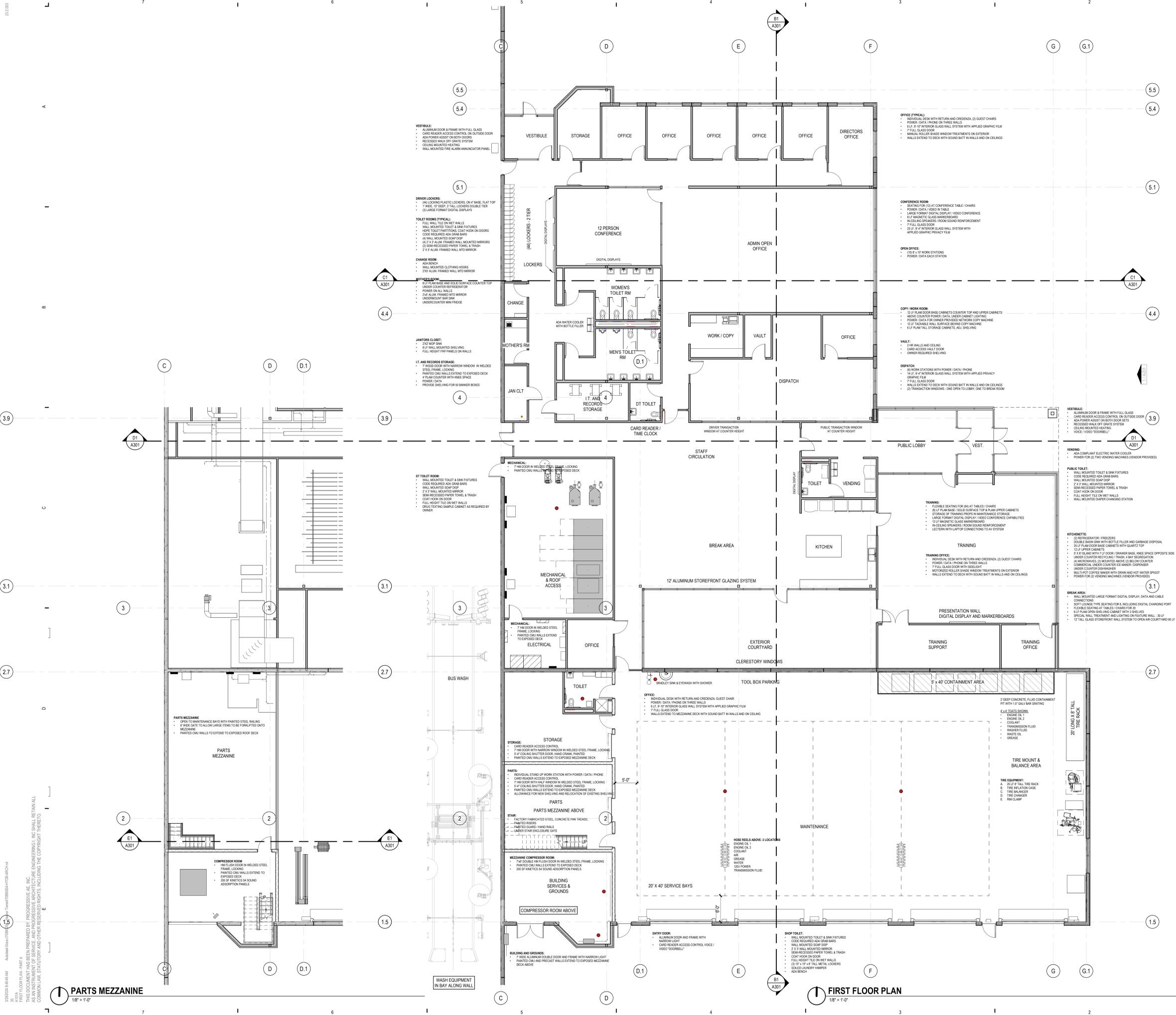
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440 NORTH FERRY, GRAND HAVEN TOWNSHIP, 48417

FLOOR PLAN
A101

ISSUANCE
03/20/24 SCHEMATIC DESIGN

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- ### INTERIOR PARTITION GENERAL NOTES
- CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK FLUTES AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
 - PROVIDE DEFLECTION TRACK AT THE TOP OF ALL INTERIOR NON-BEARING METAL STUD WALLS CAPABLE OF ACCOMMODATING 1" ROOF FLOOR DEFLECTION.
 - REFER TO CODE COMPLIANCE PLAN FOR RATED WALL LOCATIONS. FIRE RATED AND SMOKE RESISTANT ASSEMBLIES SHALL BE CONTINUOUS, WITH OTHER PARTITIONS ABUTTING THEM.
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 - PROVIDE ACOUSTICAL SEALANT AT ALL WALLS WITH ACOUSTICAL INSULATION.
 - PROVIDE 5/8" WATER RESISTANT GYPSUM WALLBOARD AT ALL WALLS OF TOILET ROOMS, WALLS RECEIVING TILE, AND WALLS BEHIND AND ADJACENT TO SINKS.
 - PROVIDE 5/8" TILE BACKER AT ALL WALLS OF SHOWER ENCLOSURES.
 - REFER TO STRUCTURAL DRAWINGS FOR MASONRY REINFORCING AND GROUTING.
 - PROVIDE BULLNOSE CONCRETE MASONRY UNITS AT EXPOSED SILLS AND AT ALL INTERIOR EXPOSED VERTICAL CORNERS, INCLUDING WINDOW AND DOOR JAMBS.
 - ALL WALLS ARE TYPE S3A UNLESS NOTED OTHERWISE.

INTERIOR PARTITION TAG LEGEND

CORE MATERIAL	CORE SIZE (NOMINAL)
S - STEEL STUDS	S
W - WOOD STUDS	W
C - CONCRETE	C
M - MASONRY	M
H - CH / SHAFTWALL	H

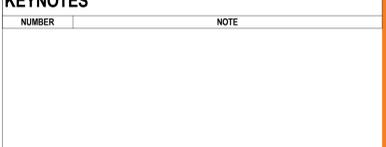
ACOUSTICAL INSULATION	ACOUSTICAL INSULATION AT TAGGED LOCATIONS
1	2x (flat)
2	2x4
3	2x4
4	2x6
5	2x6
6	2x8
7	2x8
8	2x8
9	2x8
10	10" 10"
11	12" 12"
12	12" 12"

INTERIOR PARTITION TYPE SUFFIXES

TYPE	DESCRIPTION
A	5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO DECK (OR HARD CEILING WHERE IT OCCURS)
B	5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
C	5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TAGGED SIDE TO DECK AND OTHER SIDE TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
D	5/8" GYPSUM BOARD ON ROOM SIDE ONLY, EXTEND TO DECK
E	5/8" GYPSUM BOARD ON ROOM SIDE ONLY, EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
F1	(1) LAYER 5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO DECK ABOVE, 1 HR RATED UL DESIGN #U465
F2	(2) LAYERS 5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO DECK ABOVE, 2 HR RATED UL DESIGN #U419
F3	(3) LAYERS 5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO DECK ABOVE, 3 HR RATED UL DESIGN #U419
H1	(1) LAYER 5/8" GYPSUM BOARD ON ROOM SIDE, 1" SHAFT LINER TO DECK ABOVE ON OTHER SIDE, 1 HR RATED UL DESIGN #U415-A
H2	(2) LAYERS 5/8" GYPSUM BOARD ON ROOM SIDE, 1" SHAFT LINER TO DECK ABOVE ON OTHER SIDE, 2 HR RATED UL DESIGN #U415-B
H3	(3) LAYERS 5/8" GYPSUM BOARD ON ROOM SIDE, 1" SHAFT LINER TO DECK ABOVE ON OTHER SIDE, 3 HR RATED UL DESIGN #U415-C
K	SAME AS _____ EXCEPT SPECIAL IMPACT RESISTANT GYPSUM BOARD
L	SAME AS _____ EXCEPT WITH LEAD-LINED GYPSUM BOARD ASSEMBLY - REFER TO DETAILS
M	DECORATIVE CMU SAME AS _____ TO STRUCTURE UNO - REFER TO ELEVATIONS AND DETAILS FOR SPECIFICS
P	PARTIAL HEIGHT WALL SAME AS _____ (SEE PLAN FOR HEIGHT AFF)
R	RATED MASONRY WALL PER UL DESIGN # _____
S1	ACOUSTICAL STUD ASSEMBLY WITH SOUND DEADENING GYPSUM BOARD OVER RESILIENT CHANNELS (ONE SIDE) AND ACOUSTICAL SEALANT, TOP AND BOTTOM

KEYNOTES

NUMBER	NOTE
1	5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO DECK (OR HARD CEILING WHERE IT OCCURS)
2	5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
3	5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TAGGED SIDE TO DECK AND OTHER SIDE TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
4	5/8" GYPSUM BOARD ON ROOM SIDE ONLY, EXTEND TO DECK
5	5/8" GYPSUM BOARD ON ROOM SIDE ONLY, EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
6	(1) LAYER 5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO DECK ABOVE, 1 HR RATED UL DESIGN #U465
7	(2) LAYERS 5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO DECK ABOVE, 2 HR RATED UL DESIGN #U419
8	(3) LAYERS 5/8" GYPSUM BOARD ON BOTH SIDES, EXTEND TO DECK ABOVE, 3 HR RATED UL DESIGN #U419
9	(1) LAYER 5/8" GYPSUM BOARD ON ROOM SIDE, 1" SHAFT LINER TO DECK ABOVE ON OTHER SIDE, 1 HR RATED UL DESIGN #U415-A
10	(2) LAYERS 5/8" GYPSUM BOARD ON ROOM SIDE, 1" SHAFT LINER TO DECK ABOVE ON OTHER SIDE, 2 HR RATED UL DESIGN #U415-B
11	(3) LAYERS 5/8" GYPSUM BOARD ON ROOM SIDE, 1" SHAFT LINER TO DECK ABOVE ON OTHER SIDE, 3 HR RATED UL DESIGN #U415-C
12	SAME AS _____ EXCEPT SPECIAL IMPACT RESISTANT GYPSUM BOARD
13	SAME AS _____ EXCEPT WITH LEAD-LINED GYPSUM BOARD ASSEMBLY - REFER TO DETAILS
14	DECORATIVE CMU SAME AS _____ TO STRUCTURE UNO - REFER TO ELEVATIONS AND DETAILS FOR SPECIFICS
15	PARTIAL HEIGHT WALL SAME AS _____ (SEE PLAN FOR HEIGHT AFF)
16	RATED MASONRY WALL PER UL DESIGN # _____
17	ACOUSTICAL STUD ASSEMBLY WITH SOUND DEADENING GYPSUM BOARD OVER RESILIENT CHANNELS (ONE SIDE) AND ACOUSTICAL SEALANT, TOP AND BOTTOM



PROJECT NUMBER: 7080004
PROJECT MANAGER: S. HORTON
PROFESSIONAL: J. RIZOR
DRAWN BY: J. RIZOR
CHECKED BY:

ISSUANCE
 1 03/29/24 SCHEMATIC DESIGN

FIRST FLOOR PLAN - PART A A101A

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progressive ae

HARBOR TRANSIT NEW OPERATIONS CENTER

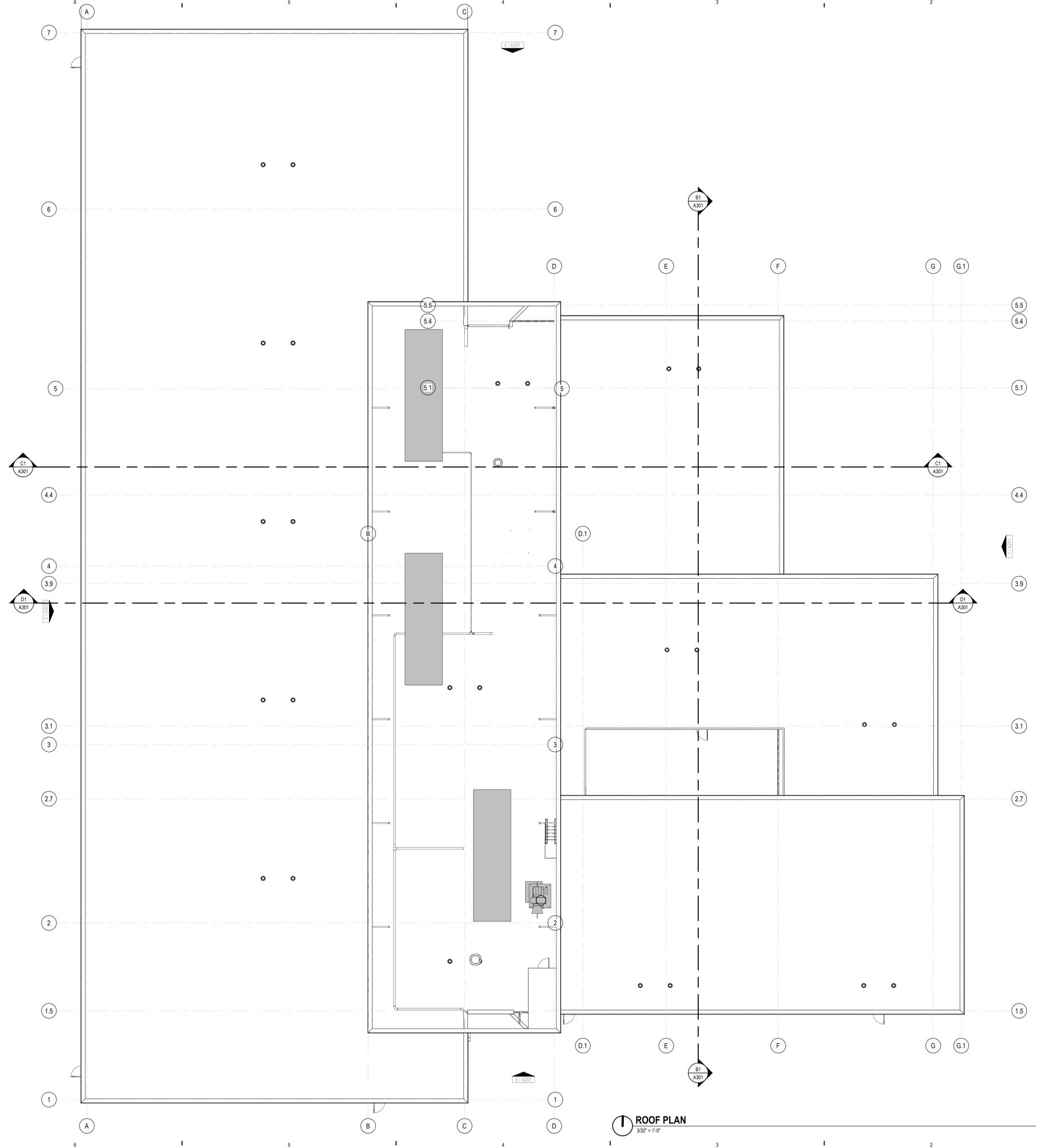
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FIRST FLOOR PLAN - PART A A101A

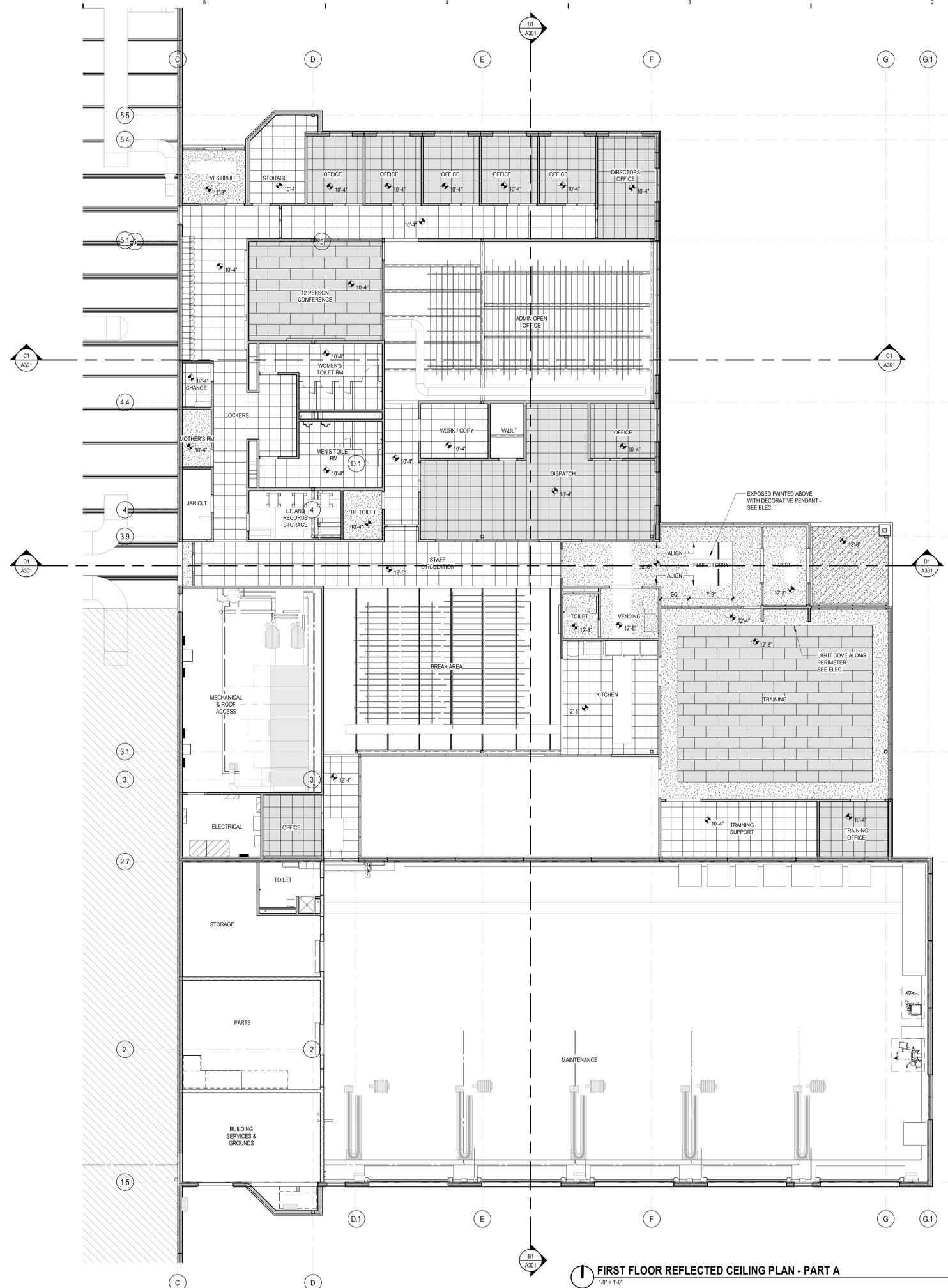
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ROOF PLAN
3/32" = 1'-0"

ROOF LEGEND	
	MEMBRANE ROOFING OVER COVER BOARD OVER ROOF INSULATION ON SLOPED ROOF DECK
	MEMBRANE ROOFING OVER COVER BOARD OVER TAPERED ROOF INSULATION OVER BASE LAYER ROOF INSULATION ON FLAT ROOF DECK
	INDICATES BALLASTED MEMBRANE ROOFING, OMIT COVER BOARD
	INDICATES TAPERED INSULATION OVERLAY (SADDLE)
	METAL ROOF PANELS - STANDING SEAM
	ASPHALT SHINGLE ROOFING
	ROOFING AREA REINFORCED FOR IMPACT FROM ICE AND SNOW
	VEGETATIVE ROOF
	ROOF WALKWAY PAD
	INDICATES DIRECTION OF SLOPE - 1/4" PER FOOT UNLESS NOTED OTHERWISE
	INDICATES THICKNESS OF INSULATION ABOVE BASE LAYER INSULATION
	ROOF DRAIN (RD) OR OVERFLOW ROOF DRAIN (ORD)

REFLECTED CEILING PLAN - PART A
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FIRST FLOOR REFLECTED CEILING PLAN - PART A
1/8" = 1'-0"

REFLECTED CEILING PLAN LEGEND

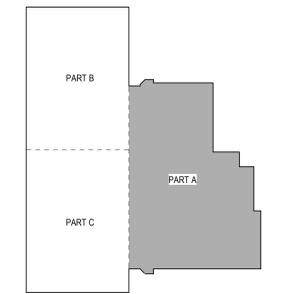
- ALL CEILING GRIDS ARE TO BE CENTERED IN ROOM / AREA OR ALIGNED WITH ADJACENT ROOM / AREA AS INDICATED, UNLESS NOTED OTHERWISE.
- CEILING HEIGHTS INDICATED ARE DIMENSIONED FROM THE FINISHED FLOOR BELOW.
- ALL LIGHT FIXTURES, SPRINKLER HEADS, RETURN AIR GRILLES AND SUPPLY AIR GRILLES ARE TO BE LOCATED IN THE CENTER OF THE CEILING PAD, UNLESS NOTED OTHERWISE.
- COORDINATE MECHANICAL, ELECTRICAL AND FIRE PROTECTION TO ASSURE PROPER CLEARANCES AND LAYOUT.
- MECHANICAL, ELECTRICAL AND FIRE PROTECTION CONTRACTORS TO PROVIDE ACCESS PANELS IN CEILING AS REQUIRED FOR MAINTENANCE OF EQUIPMENT. COORDINATE SIZE AND LOCATIONS OF ACCESS PANELS TO MINIMIZE QUANTITIES. CONTRACTOR IS REQUIRED TO PROVIDE LAYOUT TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION, UNLESS NOTED OTHERWISE.
- REFER TO FINISH SCHEDULE(S) FOR CEILING AND/OR EXPOSED STRUCTURE TO BE PAINTED.

- EXPOSED
- GYPSUM BOARD
- 2X2 ACOUSTIC CEILING PANEL
- 2X2 ACOUSTIC CEILING PANEL WITH SOUND BATTING ABOVE
- 2X4 ACOUSTIC CEILING PANEL RUNNING BOND PATTERN WITH SOUND BATTING ABOVE
- SUSPENDED ACOUSTICAL BAFFLE SYSTEM WITH INTEGRATED PENDANT LIGHTING (BOD, FOCAL POINT AIRCORE BRIDGE) 6TH BLADES WITH 12" O.C SPACING
- EXPOSED STRUCTURE WITH THERMIC HIGH PERFORMANCE COATING
- EXTERIOR FINISH SYSTEM (SEE DETAILS FOR INSULATION THICKNESS REQUIREMENTS)
- PLASTER OR GYPSUM WALL BOARD CONTROL JOINT
- CEILING ACCESS PANEL OR ROOF HATCH
- RECESSED ROUND LIGHT FIXTURE (EMERGENCY FIXTURES SHADED)
- 2X2 LIGHT FIXTURE
- 2X4 LIGHT FIXTURE
- LINEAR LIGHT FIXTURE
- HVAC SUPPLY GRILLE
- HVAC RETURN GRILLE
- RADIANT PANEL
- FIRE EXIT SIGN LOCATION
- SPEAKER LOCATION (SEE ELECTRICAL COMMUNICATIONS)
- CAMERA LOCATION (SEE ELECTRICAL COMMUNICATIONS)
- CEILING MOUNTED PROJECTOR

KEYNOTES

NUMBER	NOTE

KEY PLAN

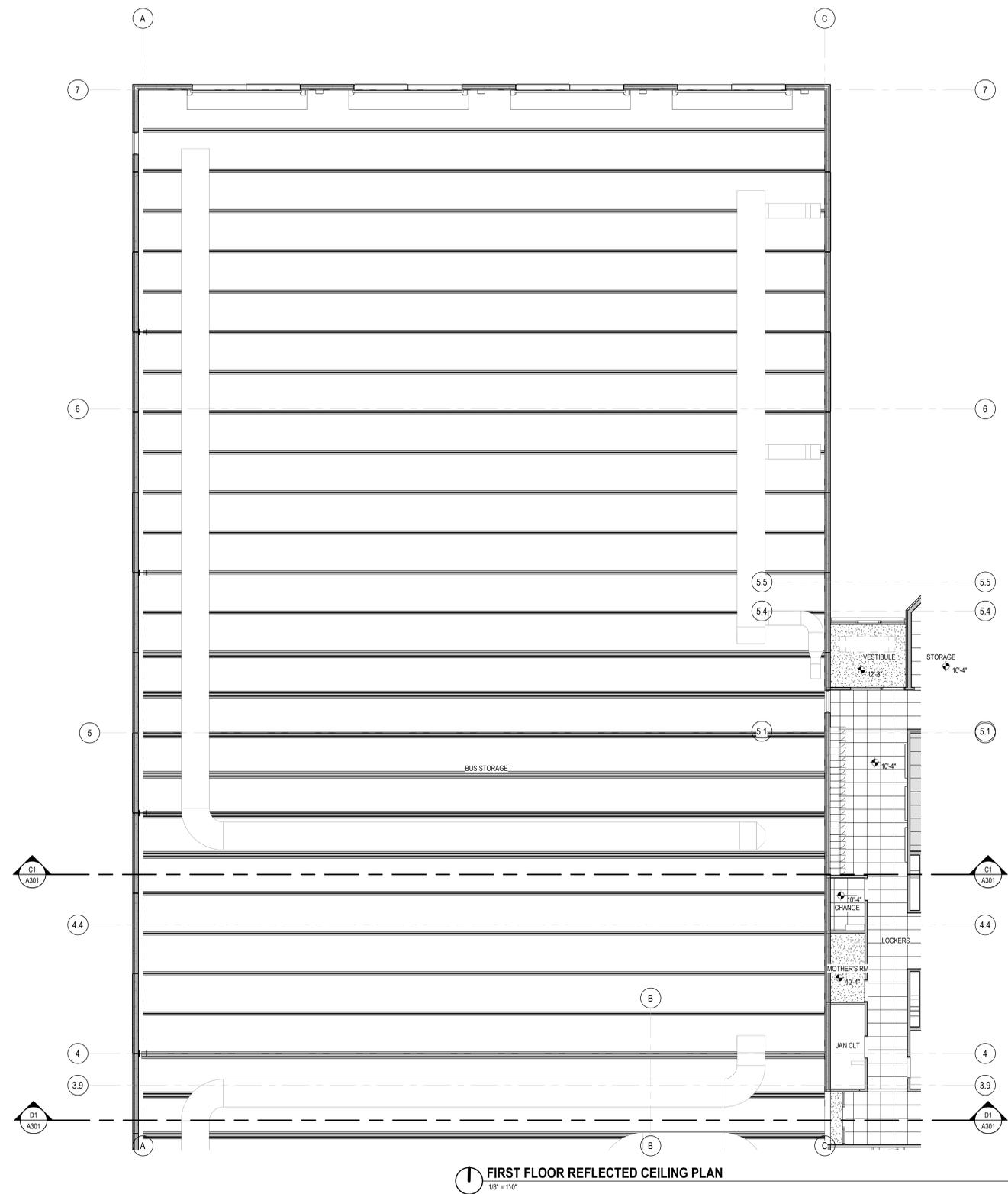


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1/8" = 1'-0"

REFLECTED CEILING PLAN LEGEND

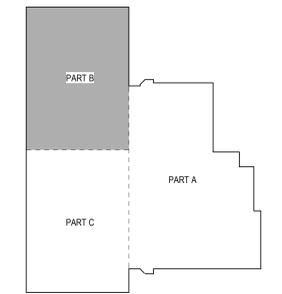
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- SUSPENDED ACOUSTICAL BAFFLE SYSTEM WITH INTEGRATED PENDANT LIGHTING (BOD FOCAL POINT AIRCORE BRIDGE) 6TH BLADES WITH 12" O.C SPACING
- EXPOSED STRUCTURE WITH TMEMC HIGH PERFORMANCE COATING
- EXTERIOR FINISH SYSTEM (SEE DETAILS FOR INSULATION THICKNESS REQUIREMENTS)
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- 2X4 LIGHT FIXTURE
- LINEAR LIGHT FIXTURE
- HVAC SUPPLY GRILLE
- HVAC RETURN GRILLE
- RADIANT PANEL
- FIRE EXIT SIGN LOCATION
- SPEAKER LOCATION (SEE ELECTRICAL COMMUNICATIONS)
- CAMERA LOCATION (SEE ELECTRICAL COMMUNICATIONS)
- CEILING MOUNTED PROJECTOR

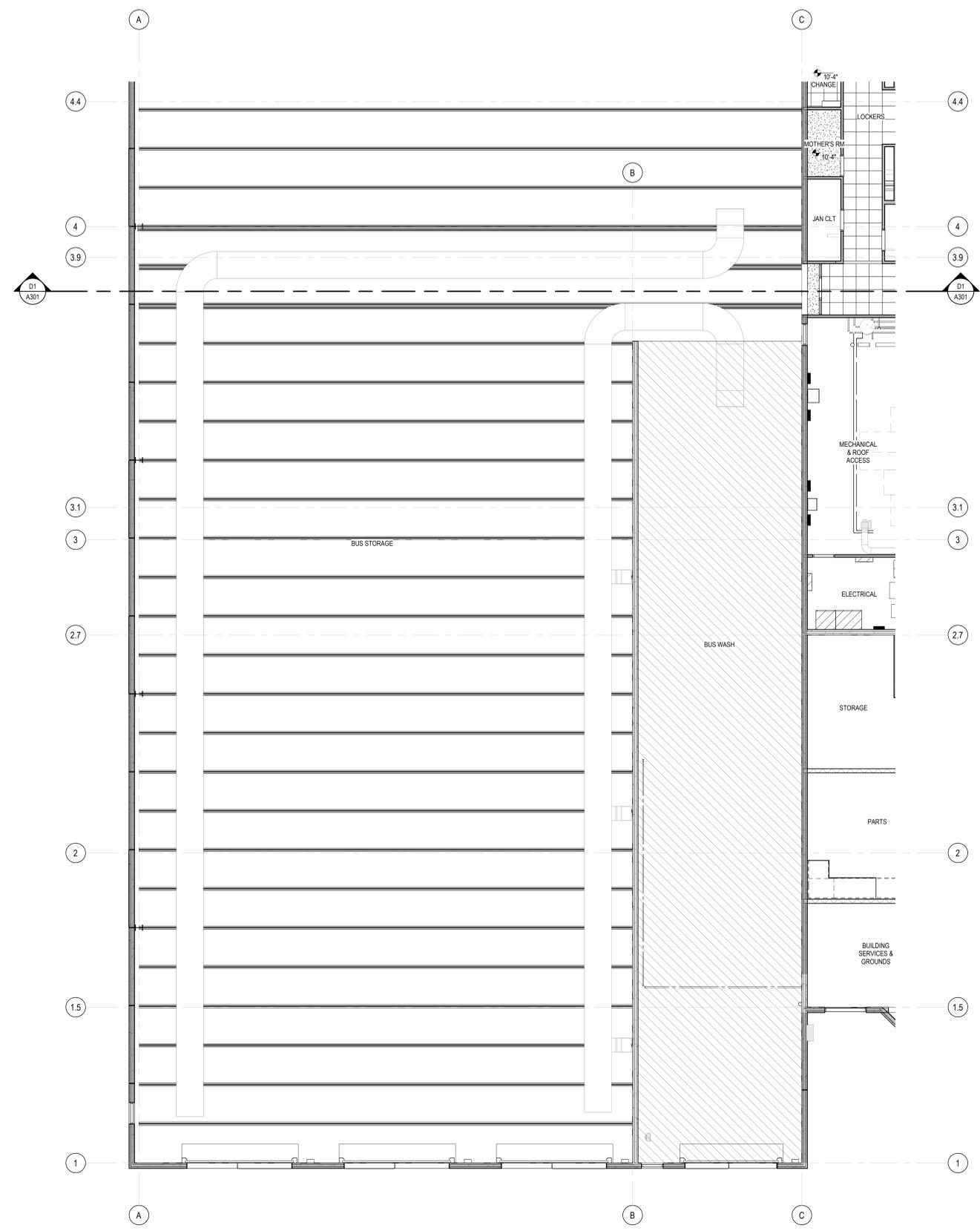
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NUMBER	NOTE

KEY PLAN



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FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

REFLECTED CEILING PLAN LEGEND

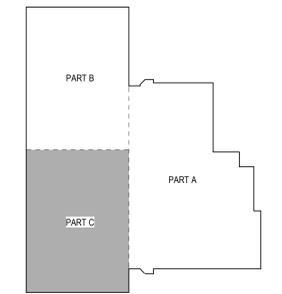
- ALL CEILING GRIDS ARE TO BE CENTERED IN ROOM / AREA OR ALIGNED WITH ADJACENT ROOM / AREA AS INDICATED, UNLESS NOTED OTHERWISE.
- CEILING HEIGHTS INDICATED ARE DIMENSIONED FROM THE FINISHED FLOOR BELOW.
- ALL LIGHT FIXTURES, SPRINKLER HEADS, RETURN AIR GRILLES AND SUPPLY AIR GRILLES ARE TO BE LOCATED IN THE CENTER OF THE CEILING PAD, UNLESS NOTED OTHERWISE.
- COORDINATE MECHANICAL, ELECTRICAL AND FIRE PROTECTION TO ASSURE PROPER CLEARANCES AND LAYOUT.
- MECHANICAL, ELECTRICAL AND FIRE PROTECTION CONTRACTORS TO PROVIDE ACCESS PANELS IN CEILINGS AS REQUIRED FOR MAINTENANCE OF EQUIPMENT. COORDINATE SIZE AND LOCATIONS OF ACCESS PANELS TO MINIMIZE QUANTITIES. CONTRACTOR IS REQUIRED TO PROVIDE LAYOUT TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION, UNLESS NOTED OTHERWISE.
- REFER TO FINISH SCHEDULE(S) FOR CEILING AND/OR EXPOSED STRUCTURE TO BE PAINTED.

- EXPOSED
- GYPSUM BOARD
- 2X2 ACOUSTIC CEILING PANEL
- 2X2 ACOUSTIC CEILING PANEL WITH SOUND BATTING ABOVE
- 2X4 ACOUSTIC CEILING PANEL RUNNING BOND PATTERN WITH SOUND BATTING ABOVE
- SUSPENDED ACOUSTICAL BAFFLE SYSTEM WITH INTEGRATED PENDANT LIGHTING (BOD. FOCAL POINT AIRCORE BRIDGE) 6TH BLADES WITH 12" O.C SPACING
- EXPOSED STRUCTURE WITH TMI/EC HIGH PERFORMANCE COATING
- EXTERIOR FINISH SYSTEM (SEE DETAILS FOR INSULATION THICKNESS REQUIREMENTS)
- PLASTER OR GYPSUM WALL BOARD CONTROL JOINT
- CEILING ACCESS PANEL OR ROOF HATCH
- RECESSED ROUND LIGHT FIXTURE (EMERGENCY FIXTURES SHADED)
- 2X2 LIGHT FIXTURE
- 2X4 LIGHT FIXTURE
- LINEAR LIGHT FIXTURE
- HVAC SUPPLY GRILLE
- HVAC RETURN GRILLE
- RADIANT PANEL
- FIRE EXIT SIGN LOCATION
- SPEAKER LOCATION (SEE ELECTRICAL COMMUNICATIONS)
- CAMERA LOCATION (SEE ELECTRICAL COMMUNICATIONS)
- CEILING MOUNTED PROJECTOR

KEYNOTES

NUMBER	NOTE

KEY PLAN



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ISSUANCE
1/30/2024 SCHEMATIC DESIGN

PROJECT NUMBER
7080004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
J. RIZOR
DRAWN BY
J. RIZOR
CHECKED BY



PARTS MEZZANINE - FINISH PLAN
1/8" = 1'-0"

FIRST FLOOR FINISH PLAN - PART A
1/8" = 1'-0"

FINISH GENERAL NOTES

- FLOORING:
 - INSTALL FLOORING MATERIAL IN DIRECTION INDICATED ON FINISH PLAN.
 - PROVIDE A CEMENTITIOUS COMPOUND BETWEEN FLOOR MATERIALS OF DIFFERENT THICKNESS. FEATHER FLOOR FOR SMOOTH TRANSITION.
 - USE ALUMINUM TILE TRANSITION STRIPS BETWEEN CARPET / CONCRETE.
- BASE:
 - TYPICAL BASE PROFILE AT CARPET SHALL BE STRAIGHT.
 - TYPICAL BASE PROFILE AT RESILIENT FLOORING SHALL BE COVE.
 - TYPICAL BASE PROFILE AT POLISHED CONCRETE WITH TERRAZZO FLAKE FLOORING SHALL BE FLASH COVE IN ALL TOILET ROOMS. IN ALL OTHER AREAS BASE TO BE RESILIENT.
 - TYPICAL BASE PROFILE AT URATHANE FLUID APPLIED SYSTEMS SHALL BE FLASH COVE.
- WALLS:
 - PAINT FIRE EXTINGUISHER CABINETS TO MATCH ADJACENT WALL COLOR, UNLESS STAINLESS STEEL OR BRUSHED ALUMINUM FINISH.
 - ALL HANDRAILS SHALL BE MOUNTED AT 34" A.F.F. EXCEPT WHERE OTHERWISE INDICATED.
 - REFER TO SHEET A121, A123, AND A124 FOR CORNER GUARD LOCATIONS.
- EXPOSED COLUMNS:
 - PAINT ALL EXPOSED COLUMNS. COLOR TO BE TBD.
- BULKHEADS:
 - PAINT BULKHEAD UNDERSIDES. COLOR TO BE TBD.
 - PAINT BULKHEAD FACE TO MATCH ADJACENT WALL COLOR, EXCEPT WHERE OTHERWISE INDICATED.
- DOORS AND FRAMES:
 - PAINT ALL INTERIOR HOLLOW METAL DOOR FRAMES. COLOR TO MATCH ADJACENT WALLS.
 - PAINT ALL INTERIOR HOLLOW METAL DOORS. COLOR TO MATCH ADJACENT WALLS.
 - PAINT EXTERIOR HOLLOW METAL DOORS.
 - INTERIOR COLOR TO MATCH ADJACENT WALLS.
 - EXTERIOR COLOR TO BE TBD.
 - FRAME COLOR TRANSITION TO TAKE PLACE AT INSIDE CORNER OF STOP ON DOOR SIDE.
- WINDOW SILLS:
 - TYPICAL WINDOW SILL TO BE SOLID SURFACE.
 - DIFFUSERS AND COVERS:
 - PAINT WALL DIFFUSER AND AIR GRILLE COVERS TO MATCH ADJACENT WALL.

FINISH PLAN LEGEND

- COMBINATION A
FLOORING: WALK OFF RECESSED GRATE SYSTEM
(\$50 MATERIAL COST SF)
BASE: 4" RUBBER
WALLS: PAINT
- COMBINATION B
FLOORING: WALK OFF CARPET (\$45 MATERIAL COST SQ. YRD)
BASE: 4" RUBBER
WALLS: PAINT
- COMBINATION C
FLOORING: CARPET TILE (\$30 MATERIAL COST SQ. YRD)
BASE: 4" RUBBER
WALLS: PAINT
NOTES:
-PRIVACY FILM ON INTERIOR GLAZING
-MANUAL SHADE SYSTEM ON EXTERIOR WINDOWS FOR ENCLOSED AND OPEN OFFICES, 3-5% OPEN
-MOTORIZED SHADE SYSTEM ON EXTERIOR WINDOWS FOR TRAINING ROOM
- COMBINATION D
FLOORING: LUXURY VINYL TILE (\$3.25 MATERIAL COST SF)
BASE: 4" RUBBER
WALLS: PAINT
WALLS: CORK TACKBOARD WALL MOUNTED (APPROX 48 SF)
- COMBINATION E
FLOORING: POLISHED CONCRETE WITH DECORATIVE TERRAZZO FLAKE (\$15 MATERIAL COST SF)
BASE: 4" RUBBER
WALLS: PAINT
WALLS: WALL COVERING / CUSTOM GRAPHIC - FULL HEIGHT OF WALL (\$10 SF MATERIAL COST)
WALLS: TILE (\$9 MATERIAL COST SF)
NOTES:
-FULL HEIGHT TILE BEHIND ANY BOTTLE FILLER/ WATER COOLER (\$4 MATERIAL COST SF)
- COMBINATION F
FLOORING: POLISHED CONCRETE WITH DECORATIVE TERRAZZO FLAKE (\$15 MATERIAL COST SF)
BASE: TERRAZZO INTEGRAL COVE BASE
WALLS: PAINT
WALLS: TILE (\$9 MATERIAL COST SF)
PARTITIONS: FLOOR MOUNTED HDPE
NOTES:
-FULL HEIGHT TILE ON WET WALLS ONLY
- COMBINATION G
FLOORING: SEALED CONCRETE
BASE: NA
WALLS: ONLY PAINT CYP WALLS - CONCRETE WALLS NOT PAINTED UNLESS NOTED ON ARCHITECTURAL FLOOR PLANS
NOTES:
-EXPOSED GALVANIZED CEILING STRUCTURE IN WASHBAYS TO BE PAINTED WITH TNE MEC EPOXY COATING (APPROX 3170 SF)
-4" RUBBER BASE APPLIED ON CYP WALLS ONLY
-HOLD BACK LINE AND LANE STRIPING BETWEEN EACH DRIVE LANE IN STORAGE GARAGE
-STAIRS TO BE FABRICATED STEEL. CONCRETE PAN TREADS WITH PAINTED RISERS
- COMBINATION H
FLOORING: URATHANE FLUID APPLIED SYSTEM WITH TOP COAT AND WEAR ADDITIVE (\$8 MATERIAL COST SF)
BASE: FLASH COVE
WALLS: PAINT
WALLS: TILE (\$4 MATERIAL COST SF)
NOTES:
-HOLD BACK LINE PAINTED
-FULL HEIGHT TILE ON WET WALLS IN TOILET/SHOWER ROOM
- COMBINATION I
FLOORING: SEALED CONCRETE
BASE: FRP COVE
WALLS: FRP
- COMBINATION J
FLOORING: CONCRETE PAVERS (\$35 MATERIAL AND INSTALL COST / SF)
BASE: NA
WALLS: LIVEWALL EXTERIOR SYSTEM - INSTALLED OVER APPROXIMATELY 450 SF OF WALL (\$110 INSTALLED COST/ SF INCLUDING PLANTS)
- WINDOW TREATMENT LOCATION INDICATOR - MANUAL SHADE (WINDOW TREATMENTS TO SPAN ENTIRE LENGTH OF OPENING)
- WINDOW TREATMENT LOCATION INDICATOR - MOTORIZED SHADE (WINDOW TREATMENTS TO SPAN ENTIRE LENGTH OF OPENING)
- SPECIAL WALL FINISH

KEYNOTES

NUMBER	NOTE
A01	PLASTIC LAMINATE CASEWORK WITH QUARTZ TOP
A02	PLASTIC LAMINATE CASEWORK WITH SOLID SURFACE TOP
A03	PLASTIC LAMINATE CASEWORK WITH LAMINATE TOP

progressive ae

HARBOR TRANSIT NEW OPERATIONS CENTER

COA ARCHITECT COA ENGINEER

NOT FOR CONSTRUCTION

440 NORTH FERRY, GRAND HAVEN TOWNSHIP, 48417

ISSUANCE
03/20/24 SCHEMATIC DESIGN

PROJECT NUMBER
7080004
PROJECT MANAGER
S. HORTON
PROFESSIONAL

DRAWN BY
A.E.
CHECKED BY

FIRST FLOOR FINISH PLAN - PART A
A121



FIRST FLOOR FINISH PLAN - PART B
1/8" = 1'-0"

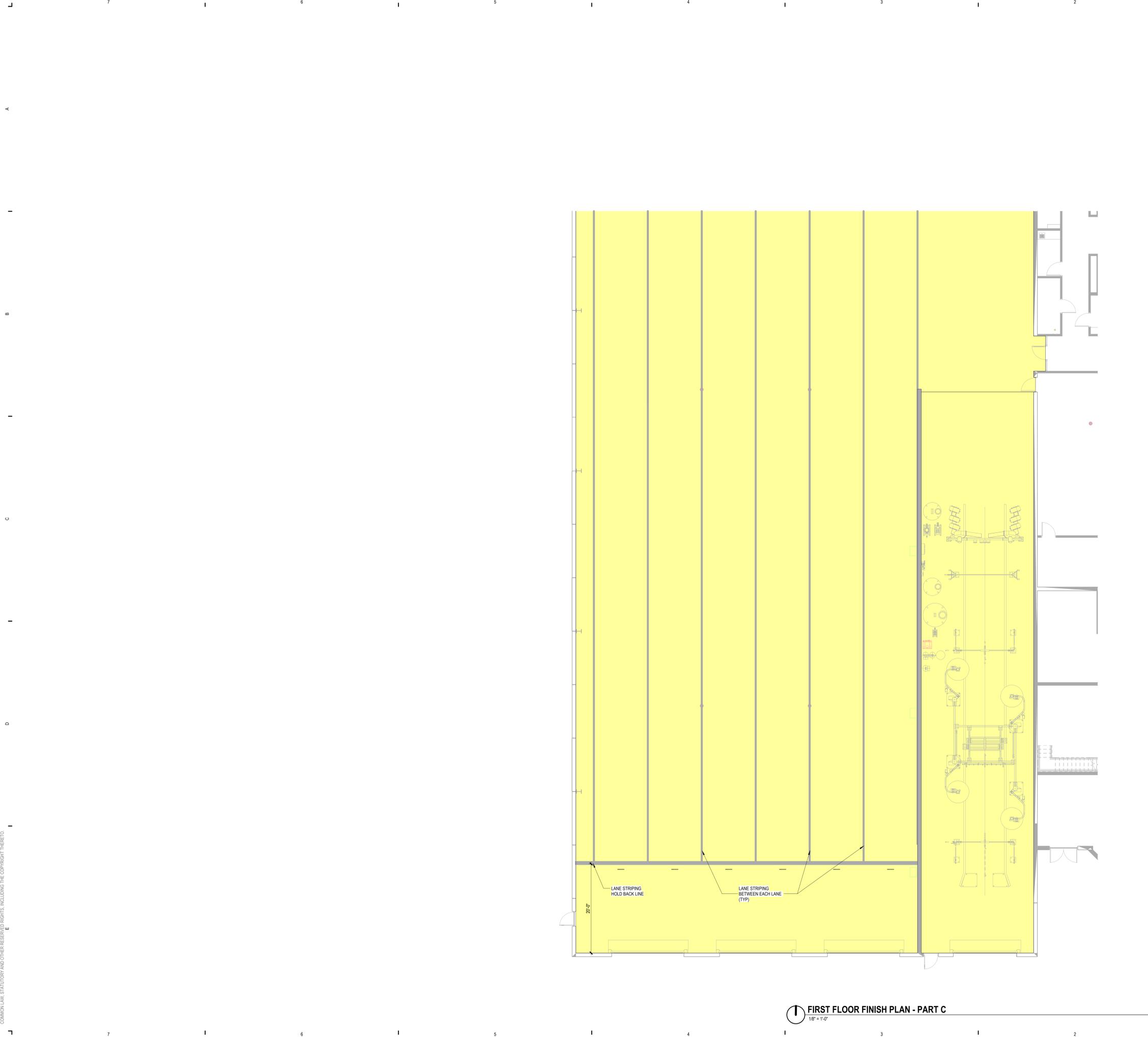
FINISH GENERAL NOTES

1. FLOORING:
 - A. INSTALL FLOORING MATERIAL IN DIRECTION INDICATED ON FINISH PLAN.
 - B. PROVIDE A CEMENTITIOUS COMPOUND BETWEEN FLOOR MATERIALS OF DIFFERENT THICKNESS. FEATHER FLOOR FOR SMOOTH TRANSITION.
 - C. USE ALUMINUM TILE TRANSITION STRIPS BETWEEN CARPET / CONCRETE.
2. BASE:
 - A. TYPICAL BASE PROFILE AT CARPET SHALL BE STRAIGHT.
 - B. TYPICAL BASE PROFILE AT RESILIENT FLOORING SHALL BE COVE.
 - C. TYPICAL BASE PROFILE AT POLISHED CONCRETE WITH TERRAZZO FLAKE FLOORING SHALL BE FLASH COVE IN ALL TOILET ROOMS. IN ALL OTHER AREAS BASE TO BE RESILIENT.
 - D. TYPICAL BASE PROFILE AT URATHANE FLUID APPLIED SYSTEMS SHALL BE FLASH COVE.
3. WALLS:
 - A. PAINT FIRE EXTINGUISHER CABINETS TO MATCH ADJACENT WALL COLOR, UNLESS STAINLESS STEEL OR BRUSHED ALUMINUM FINISH.
 - B. ALL HANDRAILS SHALL BE MOUNTED AT 34" A.F.F. EXCEPT WHERE OTHERWISE INDICATED.
 - C. REFER TO SHEET A121, A123, AND A124 FOR CORNER GUARD LOCATIONS.
4. EXPOSED COLUMNS:
 - A. PAINT ALL EXPOSED COLUMNS. COLOR TO BE TBD.
5. BULKHEADS:
 - A. PAINT BULKHEAD UNDERSIDES. COLOR TO BE TBD.
 - B. PAINT BULKHEAD FACE TO MATCH ADJACENT WALL COLOR, EXCEPT WHERE OTHERWISE INDICATED.
6. DOORS AND FRAMES:
 - A. PAINT ALL INTERIOR HOLLOW METAL DOOR FRAMES. COLOR TO MATCH ADJACENT WALLS.
 - B. PAINT ALL INTERIOR HOLLOW METAL DOORS. COLOR TO MATCH ADJACENT WALLS.
 - C. PAINT EXTERIOR HOLLOW METAL DOORS.
 - a. INTERIOR COLOR TO MATCH ADJACENT WALLS.
 - b. EXTERIOR COLOR TO BE TBD.
 - D. FRAME COLOR TRANSITION TO TAKE PLACE AT INSIDE CORNER OF STOP ON DOOR SIDE.
7. WINDOW SILLS:
 - A. TYPICAL WINDOW SILL TO BE SOLID SURFACE.
8. DIFFUSERS AND COVERS:
 - A. PAINT WALL DIFFUSER AND AIR GRILLE COVERS TO MATCH ADJACENT WALL.

FINISH PLAN LEGEND

- COMBINATION A
 FLOORING: WALK OFF RECESSED GRATE SYSTEM (\$50 MATERIAL COST SF)
 BASE: 4" RUBBER
 WALLS: PAINT
- COMBINATION B
 FLOORING: WALK OFF CARPET (\$45 MATERIAL COST SQ. YRD)
 BASE: 4" RUBBER
 WALLS: PAINT
- COMBINATION C
 FLOORING: CARPET TILE (\$30 MATERIAL COST SQ. YRD)
 BASE: 4" RUBBER
 WALLS: PAINT
 NOTES:
 -PRIVACY FILM ON INTERIOR GLAZING
 -MANUAL SHADE SYSTEM ON EXTERIOR WINDOWS FOR ENCLOSED AND OPEN OFFICES, 3-5% OPEN
 -MOTORIZED SHADE SYSTEM ON EXTERIOR WINDOWS FOR TRAINING ROOM
- COMBINATION D
 FLOORING: LUXURY VINYL TILE (\$3.25 MATERIAL COST SF)
 BASE: 4" RUBBER
 WALLS: PAINT
 WALLS: CORK TACKBOARD WALL MOUNTED (APPROX 48 SF)
- COMBINATION E
 FLOORING: POLISHED CONCRETE WITH DECORATIVE TERRAZZO FLAKE (\$15 MATERIAL COST SF)
 BASE: 4" RUBBER
 WALLS: PAINT
 WALLS: WALL COVERING - CUSTOM GRAPHIC - FULL HEIGHT OF WALL (\$10 SF MATERIAL COST)
 WALLS: TILE (\$9 MATERIAL COST SF)
 NOTES:
 -FULL HEIGHT TILE BEHIND ANY BOTTLE FILLER/ WATER COOLER (\$4 MATERIAL COST SF)
- COMBINATION F
 FLOORING: POLISHED CONCRETE WITH DECORATIVE TERRAZZO FLAKE (\$15 MATERIAL COST SF)
 BASE: TERRAZZO INTEGRAL COVE BASE
 WALLS: PAINT
 WALLS: TILE (\$9 MATERIAL COST SF)
 PARTITIONS: FLOOR MOUNTED HDPE
 NOTES:
 -FULL HEIGHT TILE ON WET WALLS ONLY
- COMBINATION G
 FLOORING: SEALED CONCRETE
 BASE: NA
 WALLS: ONLY PAINT GYP WALLS - CONCRETE WALLS NOT PAINTED UNLESS NOTED ON ARCHITECTURAL FLOOR PLANS
 NOTES:
 -EXPOSED GALVANIZED CEILING STRUCTURE IN WASHBAYS TO BE PAINTED WITH TNEMEC EPOXY COATING (APPROX 3170 SF)
 -4" RUBBER BASE APPLIED ON GYP WALLS ONLY
 -HOLD BACK LINE AND LANE STRIPING BETWEEN EACH DRIVE LANE IN STORAGE GARAGE
 -STAIRS TO BE FABRICATED STEEL, CONCRETE PAN TREADS WITH PAINTED RISERS
- COMBINATION H
 FLOORING: URATHANE FLUID APPLIED SYSTEM WITH TOP COAT AND WEAR ADDITIVE (\$8 MATERIAL COST SF)
 BASE: FLASH COVE
 WALLS: PAINT
 WALLS: TILE (\$4 MATERIAL COST SF)
 NOTES:
 -HOLD BACK LINE PAINTED
 -FULL HEIGHT TILE ON WET WALLS IN TOILET/SHOWER ROOM
- COMBINATION I
 FLOORING: SEALED CONCRETE
 BASE: FRP COVE
 WALLS: FRP
- COMBINATION J
 FLOORING: CONCRETE PAVERS (\$35 MATERIAL AND INSTALL COST / SF)
 BASE: NA
 WALLS: LIVEWALL EXTERIOR SYSTEM - INSTALLED OVER APPROXIMATELY 450 SF OF WALL (\$110 INSTALLED COST/ SF INCLUDING PLANTS)
- WINDOW TREATMENT LOCATION INDICATOR - MANUAL SHADE (WINDOW TREATMENTS TO SPAN ENTIRE LENGTH OF OPENING)
- WINDOW TREATMENT LOCATION INDICATOR - MOTORIZED SHADE (WINDOW TREATMENTS TO SPAN ENTIRE LENGTH OF OPENING)
- SPECIAL WALL FINISH

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FIRST FLOOR FINISH PLAN - PART C
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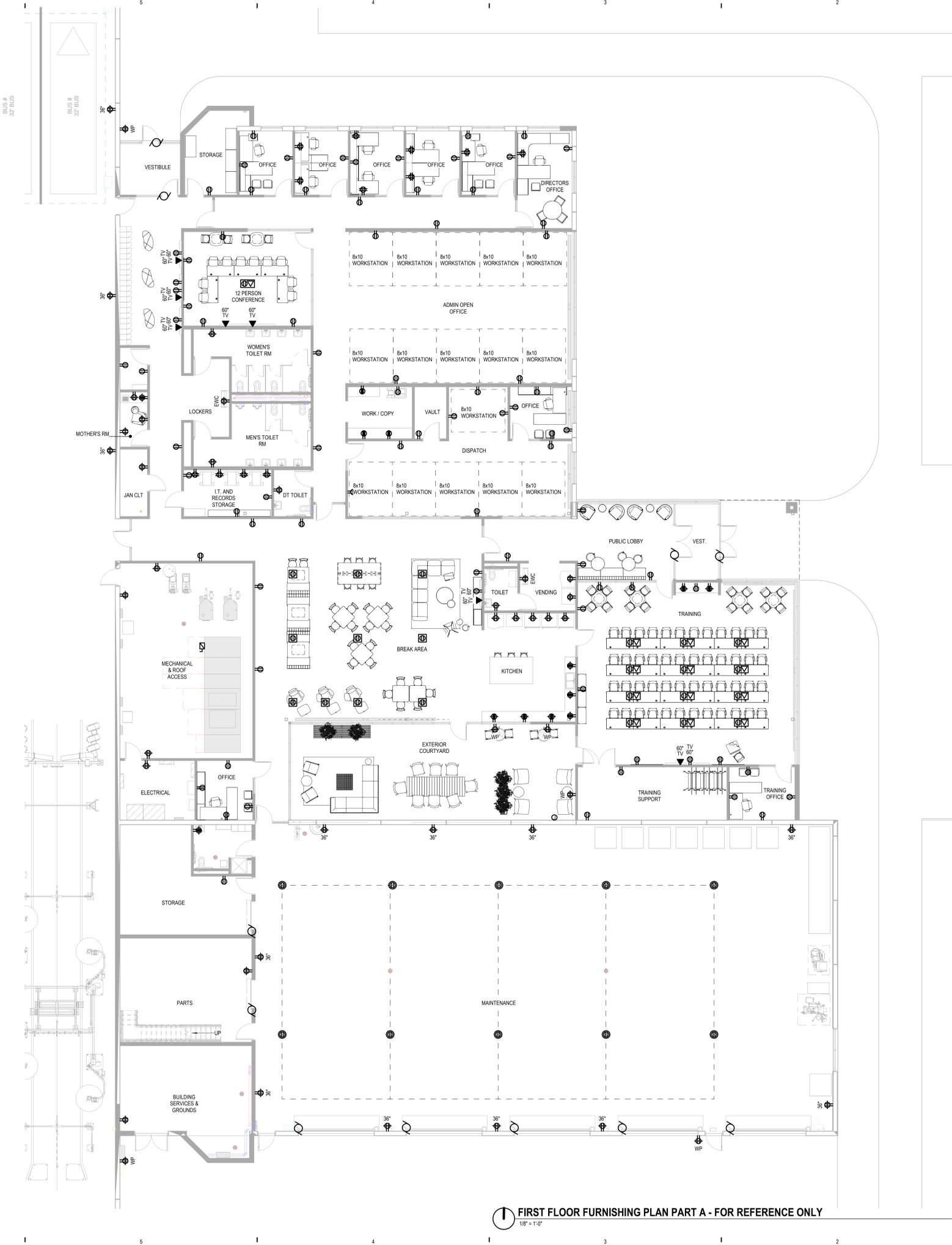
FIRST FLOOR FINISH PLAN - PART C
1/8" = 1'-0"

FINISH GENERAL NOTES

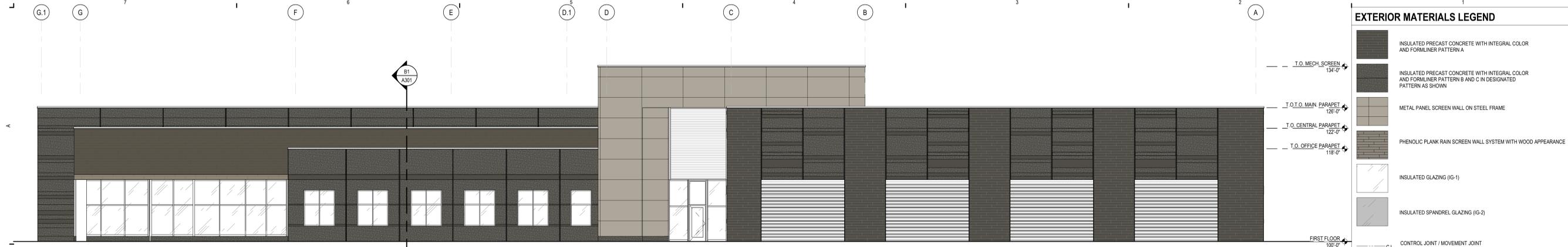
- FLOORING:
 - INSTALL FLOORING MATERIAL IN DIRECTION INDICATED ON FINISH PLAN.
 - PROVIDE A CEMENTITIOUS COMPOUND BETWEEN FLOOR MATERIALS OF DIFFERENT THICKNESS. FEATHER FLOOR FOR SMOOTH TRANSITION.
 - USE ALUMINUM TILE TRANSITION STRIPS BETWEEN CARPET / CONCRETE.
- BASE:
 - TYPICAL BASE PROFILE AT CARPET SHALL BE STRAIGHT.
 - TYPICAL BASE PROFILE AT RESILIENT FLOORING SHALL BE COVE.
 - TYPICAL BASE PROFILE AT POLISHED CONCRETE WITH TERRAZZO FLAKE FLOORING SHALL BE FLASH COVE IN ALL TOILET ROOMS. IN ALL OTHER AREAS BASE TO BE RESILIENT.
 - TYPICAL BASE PROFILE AT URATHANE FLUID APPLIED SYSTEMS SHALL BE FLASH COVE.
- WALLS:
 - PAINT FIRE EXTINGUISHER CABINETS TO MATCH ADJACENT WALL COLOR, UNLESS STAINLESS STEEL OR BRUSHED ALUMINUM FINISH.
 - ALL HANDRAILS SHALL BE MOUNTED AT 34" A.F.F. EXCEPT WHERE OTHERWISE INDICATED.
 - REFER TO SHEET A121, A123, AND A124 FOR CORNER GUARD LOCATIONS.
- EXPOSED COLUMNS:
 - PAINT ALL EXPOSED COLUMNS. COLOR TO BE TBD.
- BULKHEADS:
 - PAINT BULKHEAD UNDERSIDES. COLOR TO BE TBD.
 - PAINT BULKHEAD FACE TO MATCH ADJACENT WALL COLOR, EXCEPT WHERE OTHERWISE INDICATED.
- DOORS AND FRAMES:
 - PAINT ALL INTERIOR HOLLOW METAL DOOR FRAMES. COLOR TO MATCH ADJACENT WALLS.
 - PAINT ALL INTERIOR HOLLOW METAL DOORS. COLOR TO MATCH ADJACENT WALLS.
 - PAINT EXTERIOR HOLLOW METAL DOORS.
 - INTERIOR COLOR TO MATCH ADJACENT WALLS.
 - EXTERIOR COLOR TO BE TBD.
 - FRAME COLOR TRANSITION TO TAKE PLACE AT INSIDE CORNER OF STOP ON DOOR SIDE.
- WINDOW SILLS:
 - TYPICAL WINDOW SILL TO BE SOLID SURFACE.
- DIFFUSERS AND COVERS:
 - PAINT WALL DIFFUSER AND AIR GRILLE COVERS TO MATCH ADJACENT WALL.

FINISH PLAN LEGEND

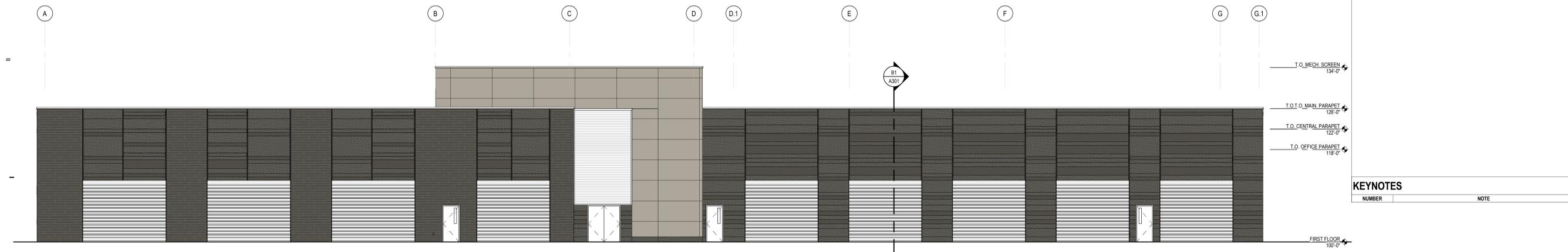
- COMBINATION A
FLOORING: WALK OFF RECESSED GRATE SYSTEM
(\$50 MATERIAL COST SF)
BASE: 4" RUBBER
WALLS: PAINT
- COMBINATION B
FLOORING: WALK OFF CARPET (\$45 MATERIAL COST SQ. YRD)
BASE: 4" RUBBER
WALLS: PAINT
- COMBINATION C
FLOORING: CARPET TILE (\$30 MATERIAL COST SQ. YRD)
BASE: 4" RUBBER
WALLS: PAINT
NOTES:
-PRIVACY FILM ON INTERIOR GLAZING
-MANUAL SHADE SYSTEM ON EXTERIOR WINDOWS FOR ENCLOSED AND OPEN OFFICES, 3-5% OPEN
-MOTORIZED SHADE SYSTEM ON EXTERIOR WINDOWS FOR TRAINING ROOM
- COMBINATION D
FLOORING: LUXURY VINYL TILE (\$3.25 MATERIAL COST SF)
BASE: 4" RUBBER
WALLS: PAINT
WALLS: CORK TACKBOARD WALL MOUNTED (APPROX 48 SF)
- COMBINATION E
FLOORING: POLISHED CONCRETE WITH DECORATIVE TERRAZZO FLAKE (\$15 MATERIAL COST SF)
BASE: 4" RUBBER
WALLS: PAINT
WALLS: WALLCOVERING / CUSTOM GRAPHIC - FULL HEIGHT OF WALL (\$15 SF MATERIAL COST)
WALLS: TILE (\$9 MATERIAL COST SF)
NOTES:
-FULL HEIGHT TILE BEHIND ANY BOTTLE FILLER/ WATER COOLER (\$4 MATERIAL COST SF)
- COMBINATION F
FLOORING: POLISHED CONCRETE WITH DECORATIVE TERRAZZO FLAKE (\$15 MATERIAL COST SF)
BASE: TERRAZZO INTEGRAL COVE BASE
WALLS: PAINT
WALLS: TILE (\$9 MATERIAL COST SF)
PARTITIONS: FLOOR MOUNTED HDPE
NOTES:
-FULL HEIGHT TILE ON WET WALLS ONLY
- COMBINATION F
FLOORING: SEALED CONCRETE
BASE: NA
WALLS: ONLY PAINT GYP WALLS - CONCRETE WALLS NOT PAINTED UNLESS NOTED ON ARCHITECTURAL FLOOR PLANS
NOTES:
-EXPOSED GALVANIZED CEILING STRUCTURE IN WASHBAYS TO BE PAINTED WITH Tnemec EPOXY COATING (APPROX 3170 SF)
-4" RUBBER BASE APPLIED ON GYP WALLS ONLY
-HOLD BACK LINE AND LANE STRIPING BETWEEN EACH DRIVE LANE IN STORAGE GARAGE
-STAIRS TO BE FABRICATED STEEL, CONCRETE PAN TREADS WITH PAINTED RISERS
- COMBINATION G
FLOORING: URATHANE FLUID APPLIED SYSTEM WITH TOP COAT AND WEAR ADDITIVE (\$8 MATERIAL COST SF)
BASE: FLASH COVE
WALLS: PAINT
WALLS: TILE (\$4 MATERIAL COST SF)
NOTES:
-HOLD BACK LINE PAINTED
-FULL HEIGHT TILE ON WET WALLS IN TOILET/SHOWER ROOM
- COMBINATION H
FLOORING: SEALED CONCRETE
BASE: FRP COVE
WALLS: FRP
- COMBINATION J
FLOORING: CONCRETE PAVERS (\$35 MATERIAL AND INSTALL COST / SF)
BASE: NA
WALLS: LIQUID WALL EXTERIOR SYSTEM - INSTALLED OVER APPROXIMATELY 450 SF OF WALL (\$110 INSTALLED COST/ SF INCLUDING PLANTS)
- WT-1 WINDOW TREATMENT LOCATION INDICATOR - MANUAL SHADE (WINDOW TREATMENTS TO SPAN ENTIRE LENGTH OF OPENING)
- WT-2 WINDOW TREATMENT LOCATION INDICATOR - MOTORIZED SHADE (WINDOW TREATMENTS TO SPAN ENTIRE LENGTH OF OPENING)
- XXX SPECIAL WALL FINISH



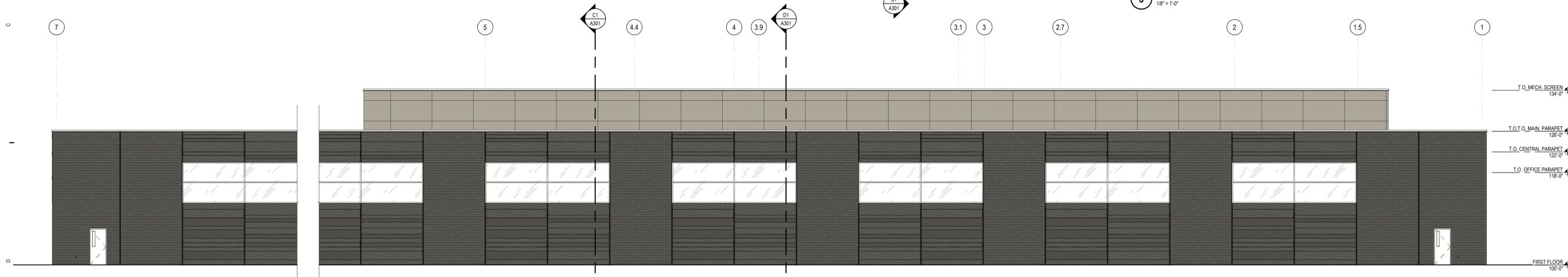
FIRST FLOOR FURNISHING PLAN PART A - FOR REFERENCE ONLY
1/8" = 1'-0"



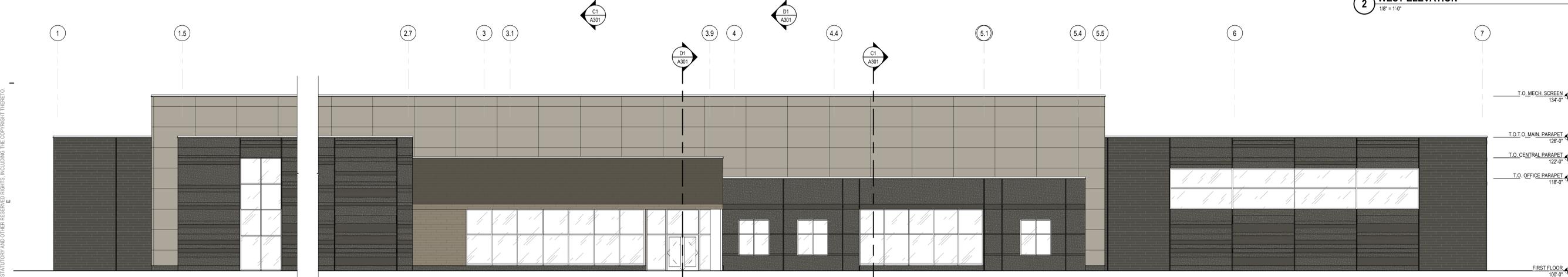
4 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND

-  INSULATED PRECAST CONCRETE WITH INTEGRAL COLOR AND FORMLINER PATTERN A
-  INSULATED PRECAST CONCRETE WITH INTEGRAL COLOR AND FORMLINER PATTERN B AND C IN DESIGNATED PATTERN AS SHOWN
-  METAL PANEL SCREEN WALL ON STEEL FRAME
-  PHENOLIC PLANK RAIN SCREEN WALL SYSTEM WITH WOOD APPEARANCE
-  INSULATED GLAZING (IG-1)
-  INSULATED SPANDREL GLAZING (IG-2)
-  CONTROL JOINT / MOVEMENT JOINT

KEYNOTES

NUMBER	NOTE

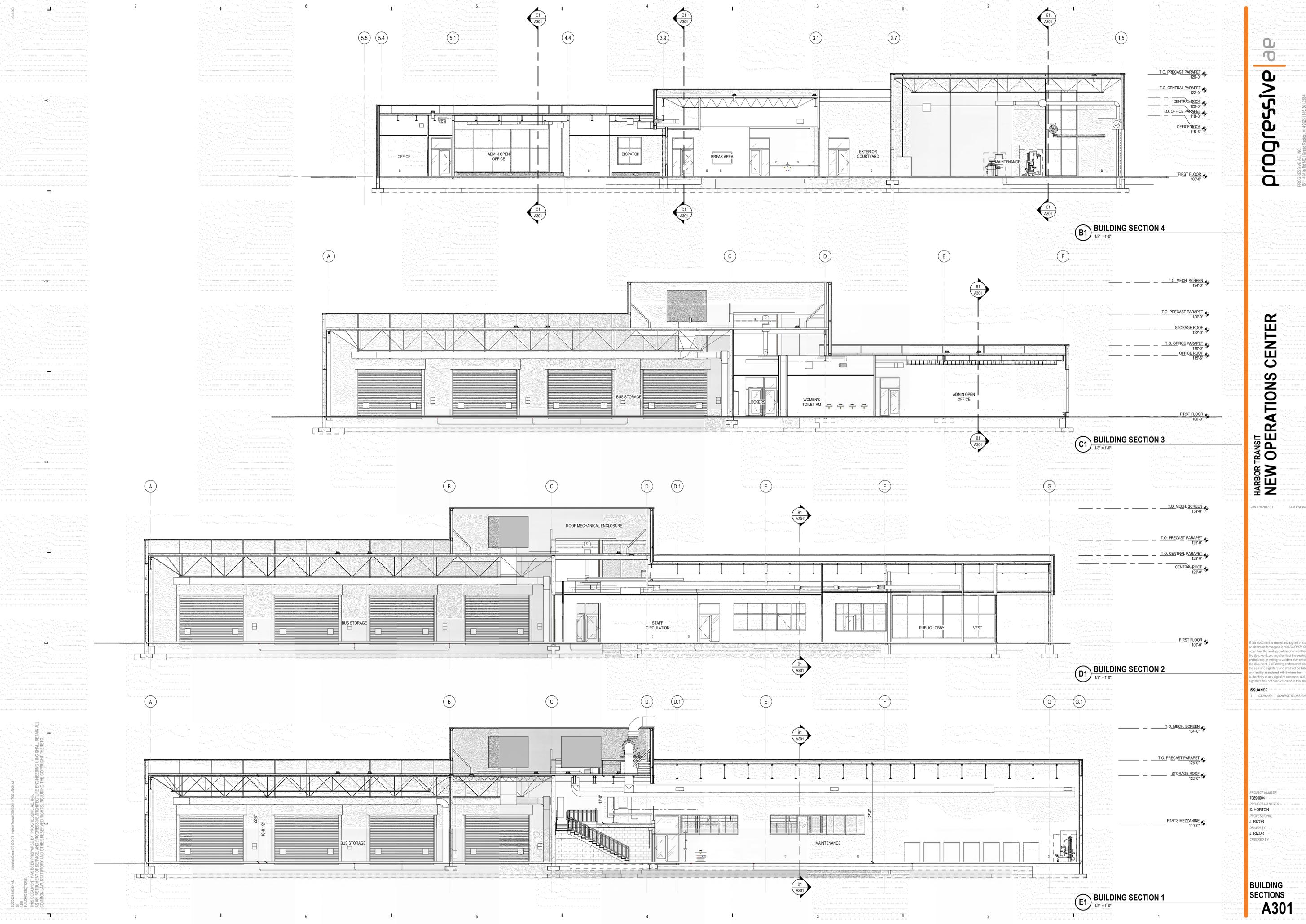
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ISSUANCE
 1/23/2024 SCHEMATIC DESIGN

PROJECT NUMBER
 7080004
 PROJECT MANAGER
 S. HORTON
 PROFESSIONAL
 J. RIZOR
 DRAWN BY
 J. RIZOR
 CHECKED BY



B1 BUILDING SECTION 4
1/8" = 1'-0"

C1 BUILDING SECTION 3
1/8" = 1'-0"

D1 BUILDING SECTION 2
1/8" = 1'-0"

E1 BUILDING SECTION 1
1/8" = 1'-0"

- T.O. PRECAST PARAPET 126'-0"
- T.O. CENTRAL PARAPET 122'-0"
- CENTRAL ROOF 120'-0"
- T.O. OFFICE PARAPET 118'-0"
- OFFICE ROOF 115'-6"
- FIRST FLOOR 100'-0"

- T.O. MECH. SCREEN 134'-0"
- T.O. PRECAST PARAPET 126'-0"
- STORAGE ROOF 122'-0"
- T.O. OFFICE PARAPET 118'-0"
- OFFICE ROOF 115'-6"
- FIRST FLOOR 100'-0"

- T.O. MECH. SCREEN 134'-0"
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- T.O. CENTRAL PARAPET 122'-0"
- CENTRAL ROOF 120'-0"
- FIRST FLOOR 100'-0"

- T.O. MECH. SCREEN 134'-0"
- T.O. PRECAST PARAPET 126'-0"
- STORAGE ROOF 122'-0"
- PARTS MEZZANINE 110'-0"
- FIRST FLOOR 100'-0"

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 A301
 BUILDING SECTIONS
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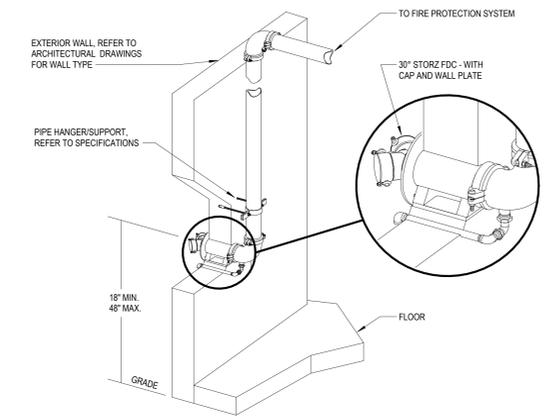
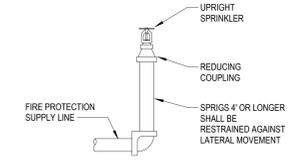
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ISSUANCE
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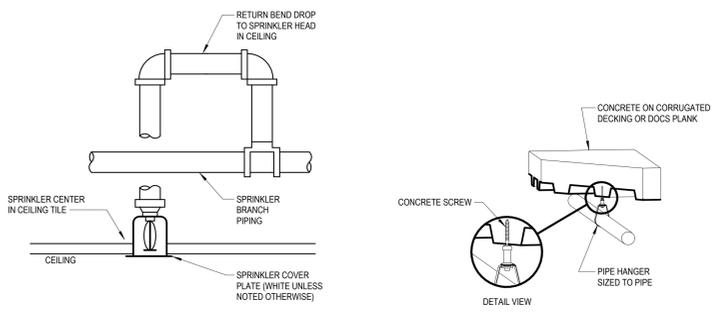
PROJECT NUMBER: 7080004
 PROJECT MANAGER: S. HORTON
 PROFESSIONAL: J. RIZOR
 DRAWN BY: J. RIZOR
 CHECKED BY:

FIRE SPRINKLER GENERAL NOTES

- ALL ROOMS/AREAS WITHIN THE BOUNDARY OF THIS REMODEL SHALL BE SPRINKLED. ALL NEW WORK SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13, STATE CODES, LOCAL CODES AND LOCAL ORDINANCES. ALL COMPONENTS SHALL BE UL LISTED AND FM APPROVED.
- ALL NEW SPRINKLERS SHALL BE QUICK RESPONSE TYPE.
- EXISTING SPRINKLERS WILL REMAIN IF THEY ARE NOT REQUIRED TO BE MOVED. NEW SPRINKLER LOCATIONS WILL REQUIRE NEW SPRINKLER HEADS (NO REALLOCATIONS REQUIRING RE-THREADING HEAD INTO NEW DROP PIPE).
- REFER TO "D" DRAWINGS AND TITLE SHEET "T" FOR CODE COMPLIANCE AND ADDITIONAL INFORMATION.
- PROVIDE ALL NECESSARY OFFSETS, RAISES OR DROPS IN PIPING AND AUXILIARY DRAINS REQUIRED BY BUILDING CONDITIONS.
- EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES ETC.
- ARCHITECTURAL, HVAC AND ELECTRICAL BACKGROUND INFORMATION IS SHOWN FOR COORDINATION PURPOSES ONLY. REFER TO THE PROPER DRAWINGS FOR EXACT LOCATIONS, SIZES AND QUANTITIES OF OTHER TRADES' WORK.
- AUTOCAD (DWG) OR MICROSTATION (DGN) COMPATIBLE FILES WILL BE MADE AVAILABLE TO THE SUCCESSFUL FIRE SPRINKLER CONTRACTOR IN ELECTRONIC FORMAT ON REQUEST.
- SYSTEM MODIFICATIONS SHALL BE DESIGNED AND SIZED HYDRAULICALLY IN ACCORDANCE WITH NFPA 13, OWNERS INSURER, AND ALL STATE AND LOCAL CODES AS INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.
- ALL NEW SYSTEM PIPING SHALL BE INSTALLED TO ALLOW DRAINAGE BACK TO THE SYSTEM RISERS WHEN POSSIBLE. WHERE IMPRACTICAL, AUXILIARY DRAINS SHALL BE INSTALLED AND DRAINED TO AN ACCEPTABLE LOCATION AS AGREED TO BY THE OWNER AND ENGINEER. EXISTING DRAINS SHALL REMAIN.
- COORDINATE SPRINKLER HEAD LOCATIONS AND PIPE ROUTING WITH OTHER TRADES TO AVOID INTERFERENCE REFER TO ARCHITECTURAL REFLECTED CEILING PLANS AND THE MECHANICAL AND ELECTRICAL PLANS FOR LOCATIONS OF CEILING, DIFFUSERS, LIGHTS AND OTHER CEILING ORNAMENTATION.
- ALL MAINS RUNNING PARALLEL WITH BUILDING JOISTS/BEAMS SHALL BE HUNG USING HANGERS ATTACHED TO SUPPORTING STEEL, SUPPORTED AT PANEL POINTS OF JOISTS AND IN ACCORDANCE WITH NFPA STANDARDS.
- REFER TO GENERAL AND SUPPLEMENTAL CONDITIONS OF BID INSTRUCTIONS FOR CUTTING AND PATCHING OF WALLS AND ROOFS. THE FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR ALL PENETRATIONS REQUIRED TO COMPLETE THE WORK. SEE MECHANICAL SPECIFICATIONS FOR PIPE SEALS, WATERPROOFING AND SLEEVES, AND ESCUTCHEON REQUIREMENTS.
- REFER TO SPECIFICATION FOR SPRINKLER TYPES. WHERE CEILING ARE PRESENT, STANDARD SPRINKLER TO BE CONCEALED HEAD WITH WHITE ESCUTCHEON PLATE, CENTERED ON CEILING PAD, UNLESS OTHERWISE INDICATED ON PLANS OR IN SPECIFICATION.
- ALL FIRE PROTECTION PIPING SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 13, THREADING OF LIGHT WALL PIPING (LESS THAN SCHEDULE 40) SHALL BE PROHIBITED. OUTLETS AND TEES BEING APPLIED TO EXISTING PIPING MUST BE OF THE WELDED, THREADED OR GROOVED DESIGN. "TAP-ON" TYPE TEES THAT ARE NOT FULL CIRCUMFERENCE, BOLTED TYPE CONNECTIONS WILL NOT BE ALLOWED.
- ALL SPRINKLERS SHALL BE UL LISTED AND FM APPROVED FOR THE INTENDED APPLICATION WHEN APPLIED IN ACCORDANCE WITH THE MANUFACTURERS LISTINGS. SPRINKLERS SHALL BE GLASS BULB TYPE AND SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 13.
- REFER TO ARCHITECTURAL DRAWINGS, SPECIFICALLY WALL SECTIONS AND REFLECTED CEILING PLANS. THE CONTRACTOR SHALL ROUTE NEW FIRE SPRINKLER PIPING AT ELEVATION EQUAL TO EXISTING, COORDINATING WITH NEW AND EXISTING DUCTWORK, PLUMBING AND ELECTRICAL CONDUIT. DESIGN INTENT IS FOR FP PIPING TO ROUTE AROUND EXISTING MECHANICAL CONDITIONS.



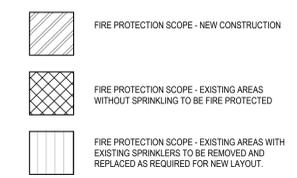
B2 TYPICAL SPRIG PIPING DETAIL
NOT TO SCALE



FIRE SPRINKLER DESIGN CRITERIA

- | | |
|----------------------------|---------------------|
| CLASSIFICATION: | LIGHT HAZARD |
| DENSITY: | 0.10 GPM/SQFT |
| TYPICAL OPERATING AREA: | 1,500 SQ. FT. |
| TYPICAL SPRINKLER SPACING: | 225 SQ. FT. MAX. |
| TEMPERATURE RATING: | 165°F. |
-
- | | |
|----------------------------|------------------------|
| CLASSIFICATION: | ORDINARY HAZARD |
| DENSITY: | 0.15 GPM/SQFT |
| TYPICAL OPERATING AREA: | 1,500 SQ. FT. |
| TYPICAL SPRINKLER SPACING: | 130 SQ. FT. MAX. |
| TEMPERATURE RATING: | 165°F. |
-
- | | |
|-------------------------|-----------------------------|
| CLASSIFICATION: | GROUP I EXTRA HAZARD |
| DENSITY: | 0.30 GPM/SQFT |
| TYPICAL OPERATING AREA: | 2300 SQ. FT. |
| TEMPERATURE RATING: | 165°F. |

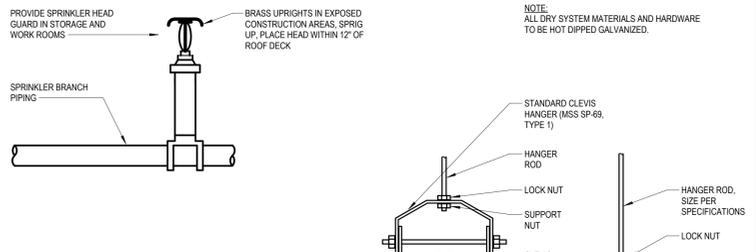
- GENERAL INSTALLATION NOTES:**
- THE AWARDED FPC SHALL BE RESPONSIBLE TO ORDER A NEW WATER FLOW TEST IF EXISTING DATA TAKEN WITHIN THE LAST YEAR IS NOT AVAILABLE.
 - DESIGN CALCULATIONS FOR NEW SPRINKLERS SHALL ALLOW FOR 10 PERCENT SAFETY FACTOR.
 - EXISTING FIRE DEPARTMENT CONNECTIONS AND HOSE REELS SHALL REMAIN.
 - CLASSIFICATION PERTAINS TO BOTH NEW ADDITIONS AND REMODEL AREAS.



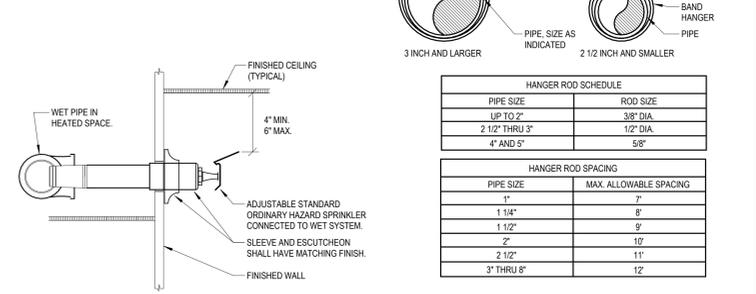
C4 FIRE DEPARTMENT CONNECTION DETAIL
NOT TO SCALE

C3 SPRINKLER PIPING DETAIL
NOT TO SCALE

C2 CLEVIS PIPE HANGER DETAIL
NOT TO SCALE

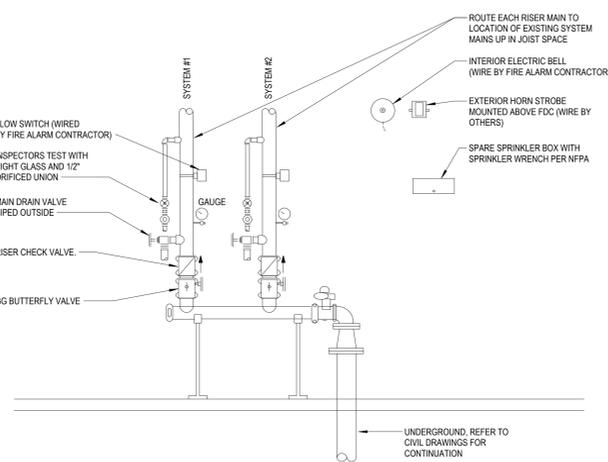


D3 UPRIGHT SPRINKLER HEAD PIPING DETAIL
NOT TO SCALE



E3 SIDEWALL SPRINKLER HEAD DETAIL
NOT TO SCALE

E2 PIPE HANGER DETAIL
NOT TO SCALE



E4 RISER DETAIL
NOT TO SCALE

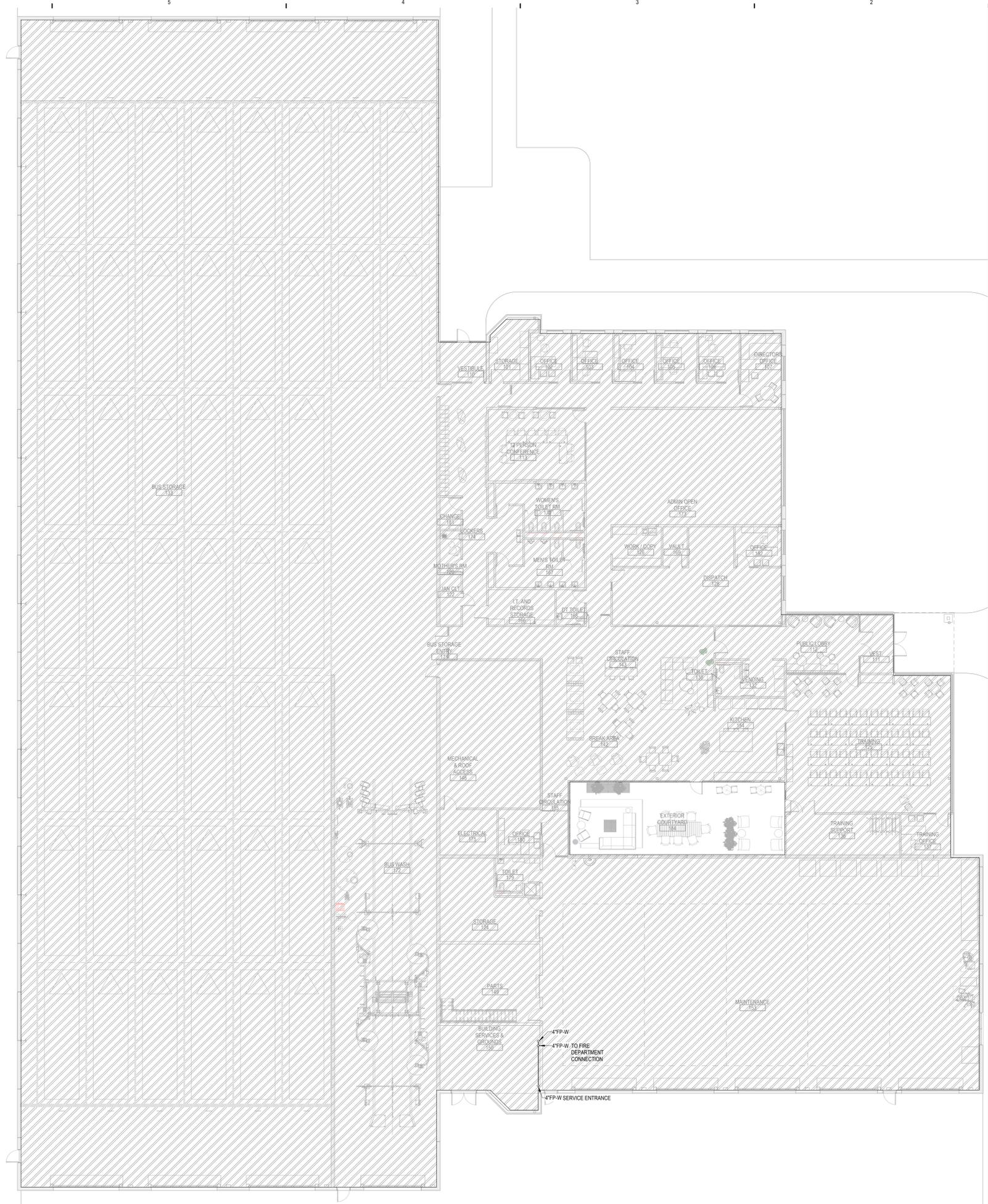
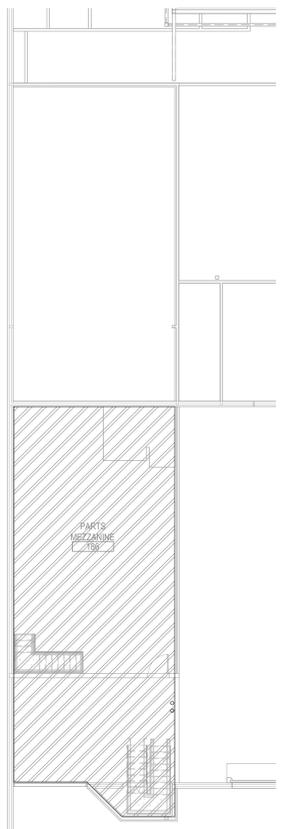
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FIRE PROTECTION SHEET INDEX

NUMBER	DESCRIPTION
FP001	GENERAL FIRE PROTECTION INFORMATION
FP101	FIRST FLOOR FIRE PROTECTION PLAN

E7 MEZZANINE FIRE PROTECTION PLAN
3/32" = 1'-0"



1 OVERALL FIRST FLOOR FIRE PROTECTION PLAN
3/32" = 1'-0"

FIRE SPRINKLER DESIGN CRITERIA

CLASSIFICATION:	LIGHT HAZARD
DENSITY:	0.10 GPM/SQFT
TYPICAL OPERATING AREA:	1,500 SQ. FT.
TYPICAL SPRINKLER SPACING:	225 SQ. FT. MAX.
TEMPERATURE RATING:	165°F.
CLASSIFICATION:	ORDINARY HAZARD
DENSITY:	0.15 GPM/SQFT
TYPICAL OPERATING AREA:	1,500 SQ. FT.
TYPICAL SPRINKLER SPACING:	130 SQ. FT. MAX.
TEMPERATURE RATING:	165°F.
CLASSIFICATION:	GROUP 1 EXTRA HAZARD
DENSITY:	0.30 GPM/SQFT
TYPICAL OPERATING AREA:	2,200 SQ. FT.
TEMPERATURE RATING:	165°F.

GENERAL INSTALLATION NOTES:

1. THE AWARDED FPC SHALL BE RESPONSIBLE TO ORDER A NEW WATER FLOW TEST IF EXISTING DATA TAKEN WITHIN THE LAST YEAR IS NOT AVAILABLE.
2. DESIGN CALCULATIONS FOR NEW SPRINKLERS SHALL ALLOW FOR 10 PERCENT SAFETY FACTOR.
3. EXISTING FIRE DEPARTMENT CONNECTIONS AND HOSE REELS SHALL REMAIN.
4. CLASSIFICATION PERTAINS TO BOTH NEW ADDITIONS AND REMODEL AREAS.

-  FIRE PROTECTION SCOPE - NEW CONSTRUCTION
-  FIRE PROTECTION SCOPE - EXISTING AREAS WITHOUT SPRINKLING TO BE FIRE PROTECTED
-  FIRE PROTECTION SCOPE - EXISTING AREAS WITH EXISTING SPRINKLERS TO BE REMOVED AND REPLACED AS REQUIRED FOR NEW LAYOUT.

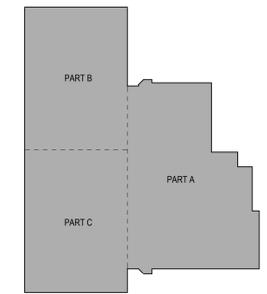
1 FIRE PROTECTION KEYNOTES

1. ADD NOTES HERE.

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KEY PLAN



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ABBREVIATIONS - PLUMBING

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes items like AC (AIR COMPRESSOR), ADA (AMERICANS WITH DISABILITIES ACT), AW (ACID WASTE), B (BOILER), BV (BALL VALVE), CB (CATCH BASIN), CBS (COMBINATION BALANCE & SHUTOFF VALVE), CIP (CAST IRON PIPE), CO (CLEANOUT), COMP (COMPARTMENT), CS (CLINICAL SINK), CV (CHECK VALVE), CW (COLD WATER), D&T (DRIP AND TRAP), DB (DIALYSIS WASTE & SUPPLY BOX), DCP (DOMESTIC WATER CIRCULATING PUMP), DCR (DOMESTIC COLD WATER RETURN), DN (DISCHARGE NOZZLE), DSN (DOWNSPOUT NOZZLE), DW (DISHWASHER), DWH (DOMESTIC WATER HEATER), EWT (ENTER WATER TEMPERATURE), FC (FLEXIBLE CONNECTION), FCO (FLOOR CLEAN OUT), FD (FLOOR DRAIN), FS (FLOOR SINK), FSEC (FOOD EQUIPMENT SERVICE CONTRACTOR), G (GAS), GLR (GROUND LOOP RETURN), GLS (GROUND LOOP SUPPLY), HB (HOSE BIBB), HO (HUB OUTLET), HTP (HEAT PUMP), HW (HOT WATER), HWR (HOT WATER RETURN (DOMESTIC)), HYD (HYDRANT), IE (INVERT ELEVATION), IW (INDIRECT WASTE), KVAR (KILOVOLT-AMPERES REACTIVE), L (LAVATORY), LAV (LAVATORY), LEED (LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN), LWT (LEAVING WATER TEMPERATURE), MB (MOP BASIN), MCA (MINIMUM CIRCUIT AMPS), MH (MANHOLE), MOP (MAXIMUM OVERCURRENT PROTECTION), NG (NATURAL GAS), OH (OVERHEAD DOOR), ORD (OVERFLOW ROOF DRAIN), PF (PUMP - FIRE PROTECTION), PP (PUMP - PLUMBING), PSI (POUNDS PER SQUARE INCH), PSIG (POUNDS PER SQUARE INCH GAUGE), RD (ROOF DRAIN, ROAD), RIO (ROUGH-IN ONLY), RPBP (REDUCED PRESSURE BACKFLOW PREVENTER), RPM (REVOLUTIONS PER MINUTE), RR (REST ROOM), RV (RELIEF VENT), S (SINK), SAN (SANITARY), SCW (SOFT COLD WATER), SD (STORM DRAIN), SG (SPECIFIC GRAVITY), SH (SHOWER), SK (SINK), SNS (SANITARY SEWER), SPHD (SPRINKLER HEAD), SPKR (SPRINKLER), SS (SERVICE SINK), SSK (SERVICE SINK), ST (STORM), TD (TRENCH DRAIN), THERM (100 CUBIC FEET OF NATURAL GAS), TOW (TOP OF WALL), UR (URINAL), V (VENT), VS (VENT STACK), VTR (VENT THROUGH ROOF), W (WASTE), WCO (WALL CLEANOUT), WH (WALL HYDRANT), WHTR (WATER HEATER), WS (WASTE STACK), ZVB (ZONE VALVE BOX).

PLUMBING SYMBOLS

Table with 2 columns: Symbol, Description. Includes symbols for ANGLE RELIEF VALVE, ANGLED STOP CHECK VALVE, BALANCING VALVE, BUTTERFLY VALVE, BALL VALVE, CHECK VALVE W/ARROW INDICATING FLOW, GATE VALVE, GLOBE VALVE, LINEAR STOP CHECK VALVE, GAS VALVE, PLUG VALVE, PRESSURE REDUCING VALVE, PRESSURE RELIEF VALVE, SOLENOID VALVE, PRESSURE REGULATING VALVE - TWO WAY, PRESSURE REGULATING VALVE - THREE WAY, MOTORIZED CONTROL VALVE - 2-WAY, MOTORIZED CONTROL VALVE - 3-WAY, FLOW MEASURING DEVICE, HOSE BIBB, MANUAL AIR VENT, PRESSURE INDICATOR, TEMPERATURE INDICATOR, THERMOMETER, ANCHOR, CAP, CATCH BASIN, END OF LINE, CLEANOUT, FLOOR, CLEANOUT, WALL, CLEANOUT, EXPANSION COMPENSATOR OR EXPANSION JOINT, FLEXIBLE PIPE CONNECTOR, FLOOR DRAINS, PIPE GUIDE, MANHOLE, MASTER GAS SHUT OFF, PRESSURE REDUCING STATION, REDUCED PRESSURE BACKFLOW PREVENTER, STRAINER, UNION.

PLUMBING GENERAL NOTES

- 1. COORDINATE ROUTING OF PIPING WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO AVOID CONFLICTS.
2. COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES.
3. PROVIDE ROUGH-INS AND FINAL CONNECTIONS TO FIXTURES AND EQUIPMENT FURNISHED BY LAB EQUIPMENT CONTRACTOR. USE ONLY APPROVED EQUIPMENT AND FIXTURE SHOP DRAWINGS, FROM FSEC, FOR ROUGH-IN SIZES AND LOCATIONS.
4. PROVIDE TRAP SEAL PROTECTION ON ALL FLOOR DRAINS, FLOOR SINKS AND HUB DRAINS SUBJECT TO EVAPORATION. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
5. PROVIDE ASSE 1070 MIXING VALVE AT ALL BARRIER FREE SINKS AND ALL HAND WASHING SINKS TO PROVIDE TEMPERED WATER TO HOT WATER SIDE OF FAUCET.
6. PIPING INSTALLED IN THE WAY OF ACCESS OR MAINTENANCE TO EQUIPMENT SHALL BE RELOCATED AT THE EXPENSE OF THE INSTALLING CONTRACTOR.
7. PROVIDE SHUTOFF VALVES AT ALL FIXTURES AND EQUIPMENT.
8. COORDINATE LOCATIONS OF FLOOR DRAINS AND FLOOR SINKS WITH LOCATIONS OF EQUIPMENT AND EQUIPMENT HOUSEKEEPING PADS. COORDINATE WITH SLOPING OF FLOOR SO THAT RIM OF DRAIN IS FLUSH WITH FINISH FLOOR.
9. COORDINATE HANGING AND SUPPORT OF PIPING WITH STRUCTURAL.
10. PROVIDE PIPE SLEEVES WHERE PIPES PENETRATE WALLS.
11. PROVIDE PIPE SLEEVES WHERE PIPES RUN BELOW FOOTING.
12. INSTALL EXTERIOR CLEAN OUTS FLUSH WITH SURFACE.
13. INSTALL PIPING IN AN ORGANIZED MANNER. DO NOT ROUTE IN FRONT OF WINDOWS.
14. THE INSTALLATION OF ALL PIPING SHALL BE CLOSELY COORDINATED WITH NEW SHEET METAL, HVAC PIPING, ELECTRICAL AND STRUCTURAL CONDITIONS. NOT ALL REQUIRED OFFSETS AND FITTINGS ARE INDICATED, BUT SHALL BE PROVIDED. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR CLEARANCES. THE LOCATION OF SANITARY, STORM AND VENT LINES SHALL TAKE PRECEDENCE OVER HVAC AND FIRE PROTECTION PIPING AND ELECTRICAL CONDUIT AND CABLE TRAY.
15. PROVIDE WATER HAMMER ARRESTORS PER DW-201 AND UP-STREAM OF ALL AUTOMATIC AND FAST CLOSING VALVES INCLUDING BUT NOT LIMITED TO SOLENOID VALVES.
16. ALL EMERGENCY EYEWASH UNITS AND EMERGENCY SHOWERS SHALL BE PROVIDED WITH TEMPERED WATER AND SHALL BE IN COMPLIANCE WITH ANSI Z358.1.

PHASING



PLUMBING SYMBOLOGY

Table with 2 columns: Symbol, Description. Includes CW (COLD WATER), HW (HOT WATER), HWR (HOT WATER RETURN), SAN (SANITARY WASTE), AW (ACID WASTE), ST (STORM), OD (STORM (OVERFLOW DRAINAGE)), AV (ACID WASTE VENT), V (VENT), CC (COIL CONDENSATE TO DRAIN), CA (COMPRESSED AIR), G (NATURAL GAS), GEPS (NATURAL GAS, EMERGENCY POWER), PCW (PROCESS COLD WATER).

PLUMBING SHEET INDEX

Table with 2 columns: NUMBER, DESCRIPTION. Lists sheets P001 through P501 including GENERAL PLUMBING INFORMATION, UNDERFLOOR PLUMBING PLAN - PART A, B, C, FIRST FLOOR PLUMBING PLAN - PART A, B, C, ROOF PLUMBING PLAN - PART A, B, C, and PLUMBING DETAILS.

progressive P.E.

HARBOR TRANSIT NEW OPERATIONS CENTER NOT FOR CONSTRUCTION

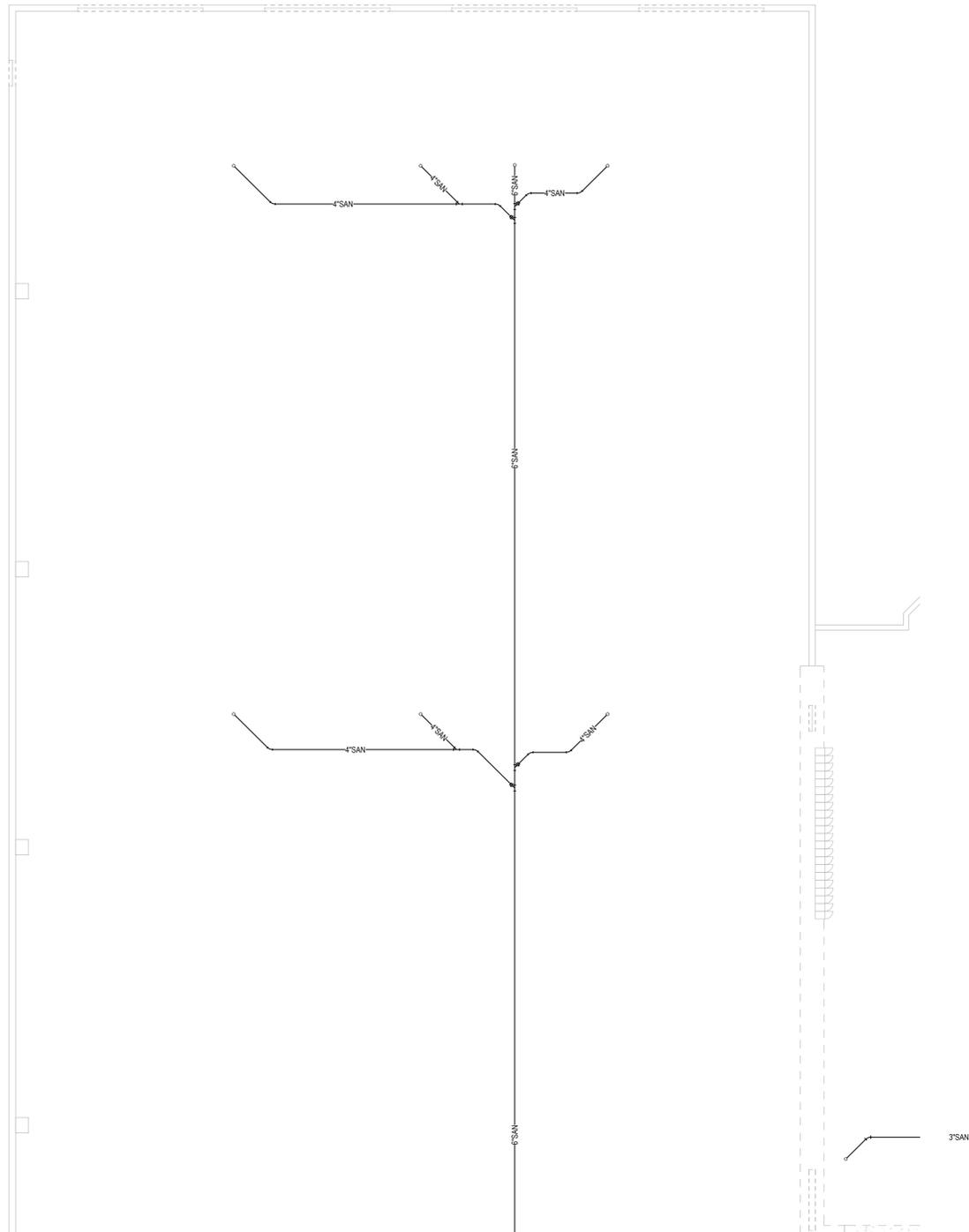
ISSUANCE 03/29/2024 SCHEMATIC DESIGN

PROJECT NUMBER 78900004 PROJECT MANAGER S. HORTON PROFESSIONAL K. JAGER DRAWN BY K. JAGER CHECKED BY J. GREEN

GENERAL PLUMBING INFORMATION P001

PROGRESSIVE P.E., INC. 1911 Mills Road NE Grand Rapids, MI 49503 (616) 361-2664 330 South Tyng St. Charlotte, NC 28202 (704) 731-1800 www.progressivepae.com

COA ARCHITECT COA ENGINEER 440 NORTH FERRY, GRAND HAVEN TOWNSHIP, MI 49431

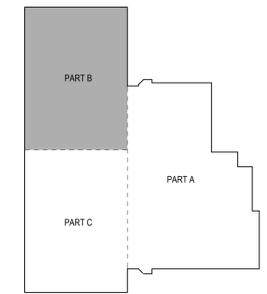


1 UNDERFLOOR PLUMBING PLAN - PART B
1/8" = 1'-0"

PLUMBING KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



PROJECT NUMBER
7089004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
K. JAGER
CHECKED BY
J. GREEN

UNDERFLOOR
PLUMBING PLAN -
PART B
P099B

ISSUANCE
03/29/2024 SCHEMATIC DESIGN

**NOT FOR
CONSTRUCTION**

COA ARCHITECT COA ENGINEER
440 NORTH FERRY, GRAND LAKEN TOWNSHIP, 48417

HARBOR TRANSIT
NEW OPERATIONS CENTER

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PROGRESSIVE AE, INC.
18714 Mills Road NE, Grand Rapids, MI 49521 | 616.361.2654
330 South Tryon St., Suite 300 | Charlotte, NC 28202 | 704.731.1800 | www.progressiveae.com

A B C D E

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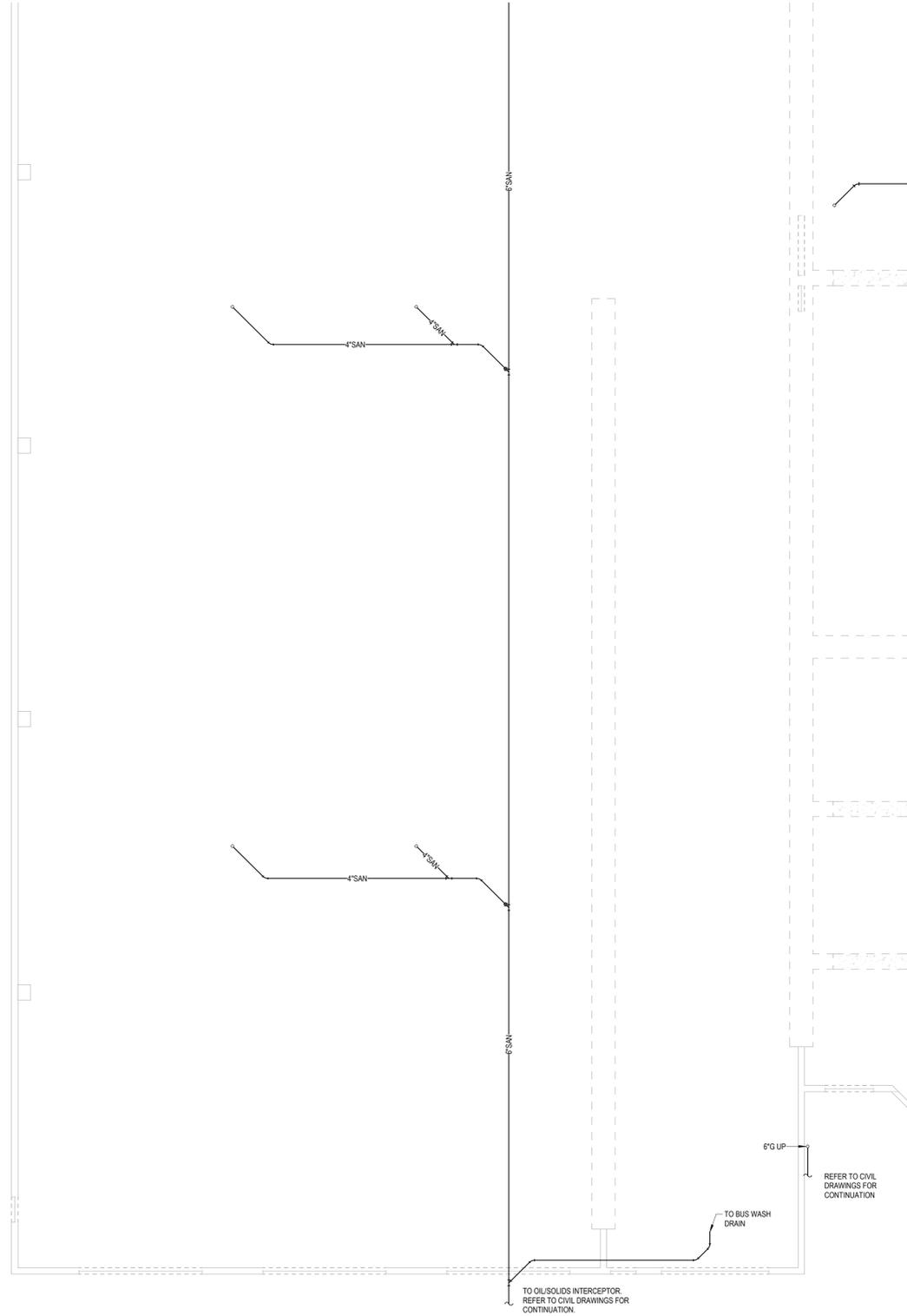
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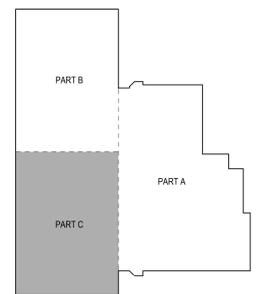


1 UNDERFLOOR PLUMBING PLAN - PART C
1/8" = 1'-0"

PLUMBING KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



PROJECT NUMBER
7890004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
K. JAGER
CHECKED BY
J. GREEN

ISSUANCE
03/29/2024 SCHEMATIC DESIGN

UNDERFLOOR
PLUMBING PLAN -
PART C
P099C

HARBOR TRANSIT
NEW OPERATIONS CENTER

COA ARCHITECT COA ENGINEER

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CONSTRUCTION

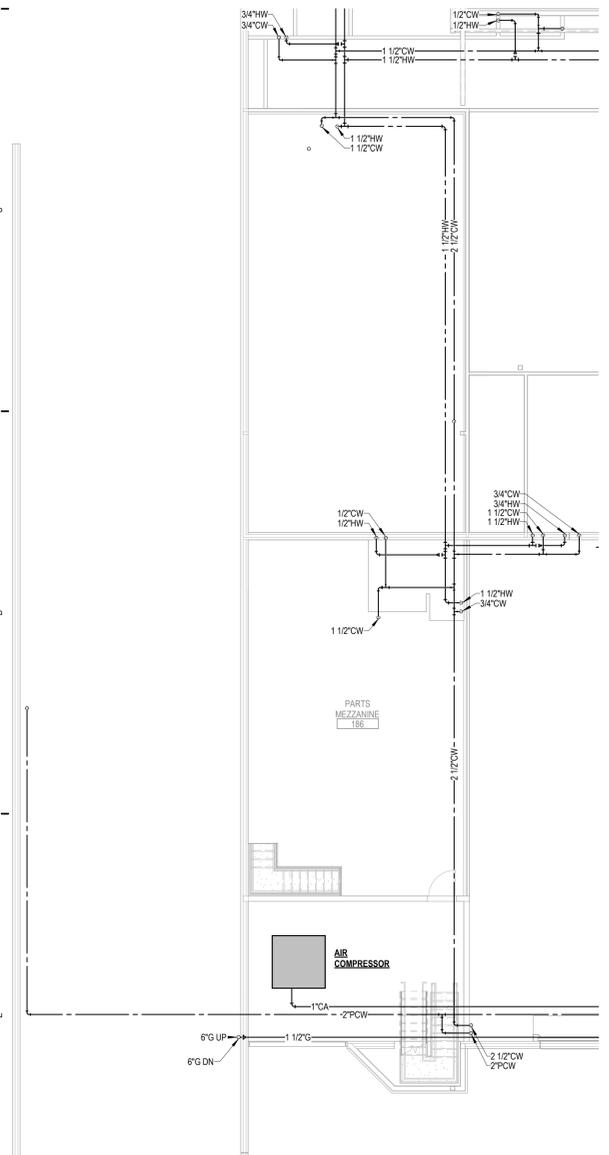
440 NORTH FERRY, GRAND LAKEN TOWNSHIP, 08417

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19714 Mills Road NE, Grand Rapids, MI 49525 | 616.361.2654
330 South Tryon St., Suite 300 | Charlotte, NC 28202 | 704.731.6800 | www.progressiveae.com

FIRST FLOOR PLUMBING PLAN - PART A
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MEZZANINE PLUMBING PLAN
1/8" = 1'-0"

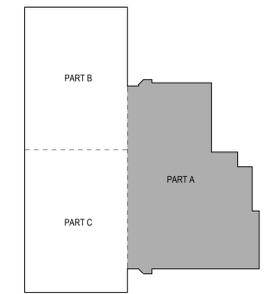


FIRST FLOOR PLUMBING PLAN - PART A
1/8" = 1'-0"

PLUMBING KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



PROJECT NUMBER
7080004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
K. JAGER
CHECKED BY
J. GREEN

FIRST FLOOR PLUMBING PLAN - PART A
P101A

COA ARCHITECT COA ENGINEER

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330 South Tryon St., Suite 301 | Charlotte, NC 28202 | 704.731.8800
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440 NORTH FERRY, GRAND HAVEN TOWNSHIP, MI 49437

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A B C D E

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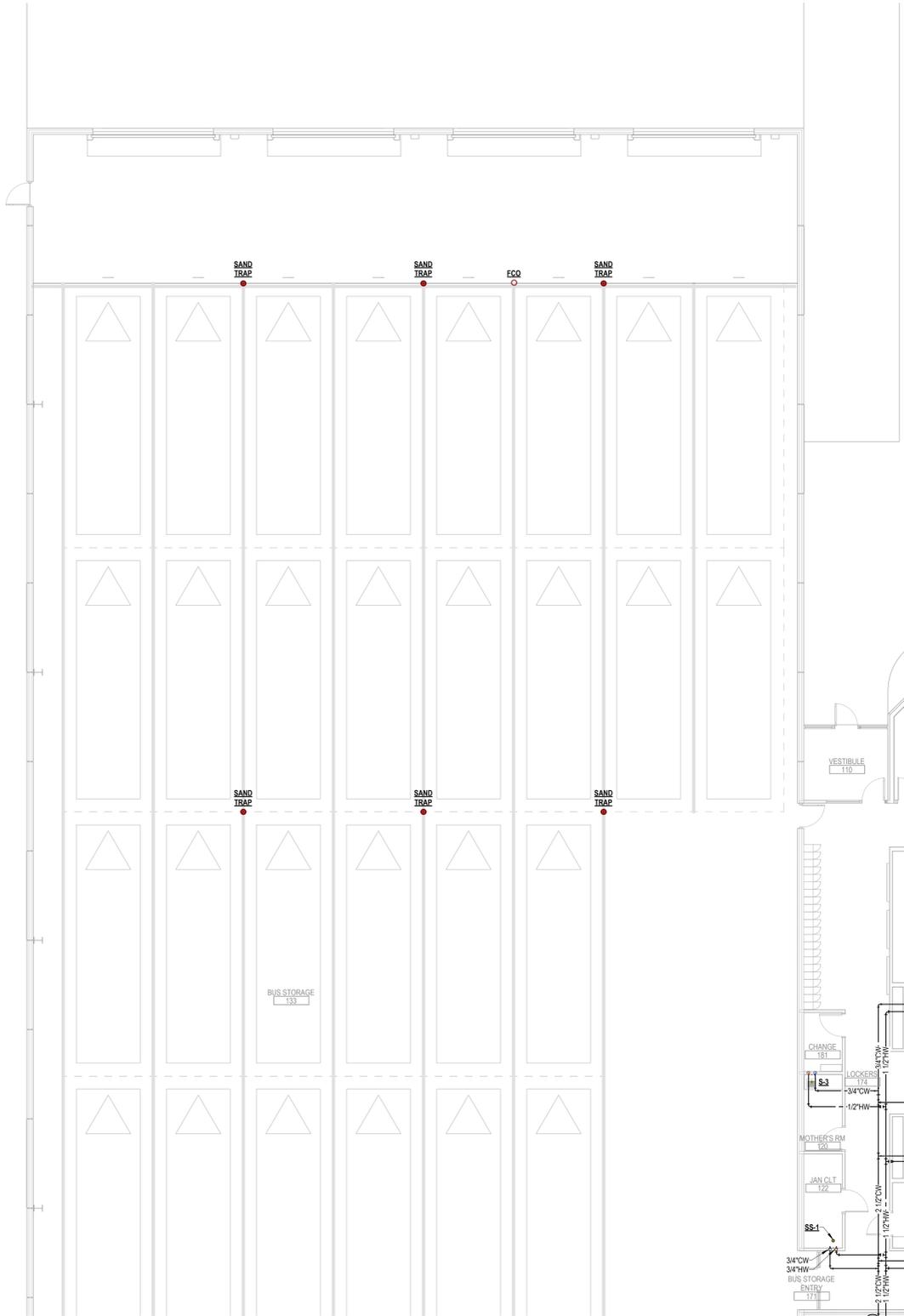
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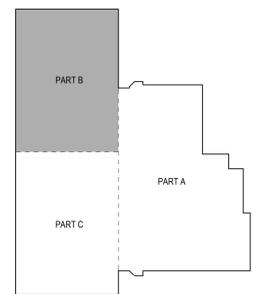


FIRST FLOOR PLUMBING PLAN - PART B
1/8" = 1'-0"

PLUMBING KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



PROJECT NUMBER
7080004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
K. JAGER
CHECKED BY
J. GREEN

FIRST FLOOR
PLUMBING PLAN -
PART B
P101B

HARBOR TRANSIT
NEW OPERATIONS CENTER

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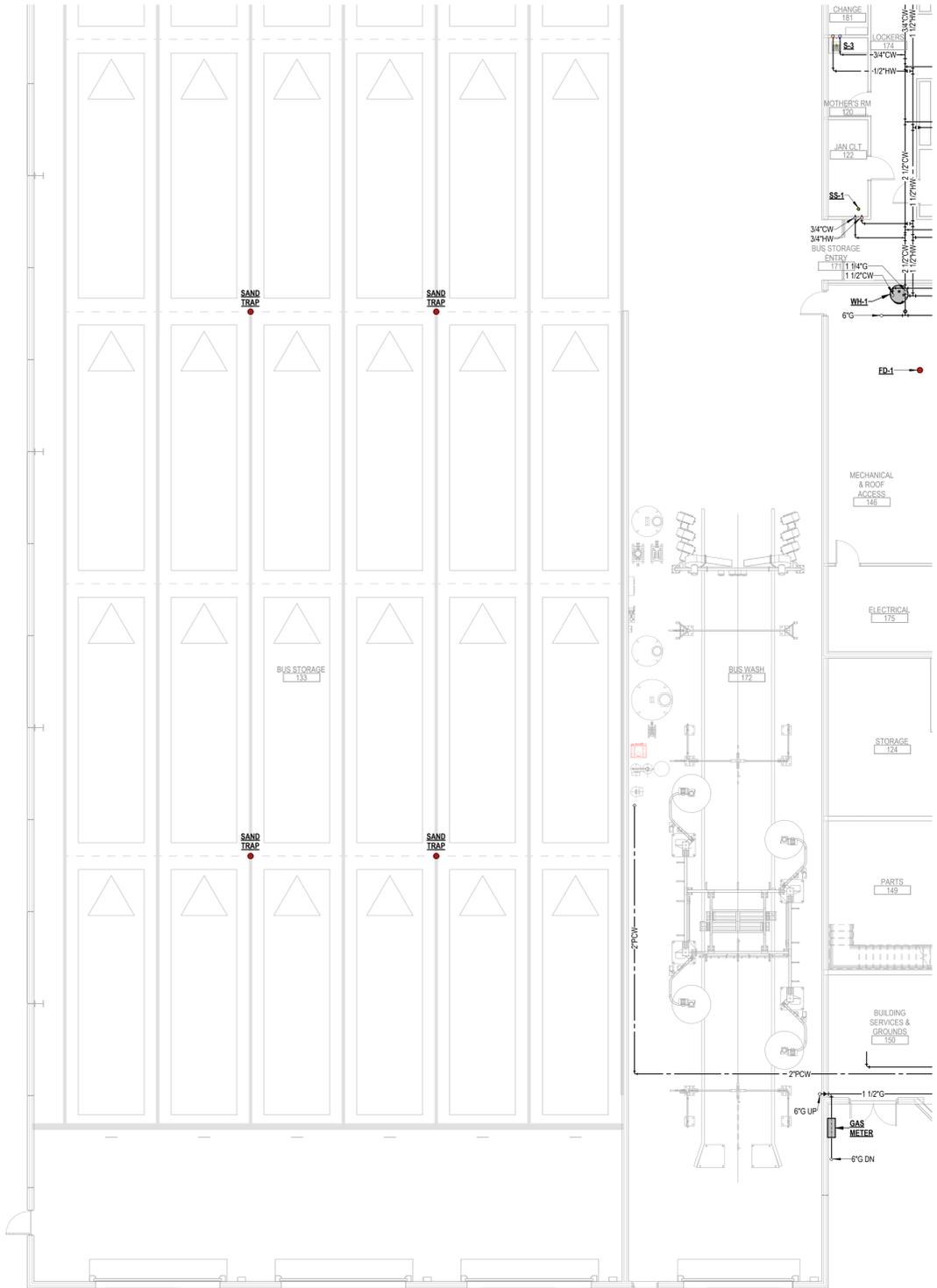
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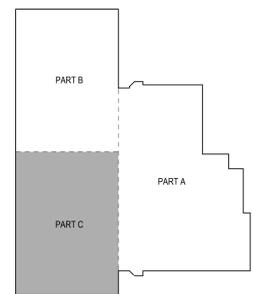


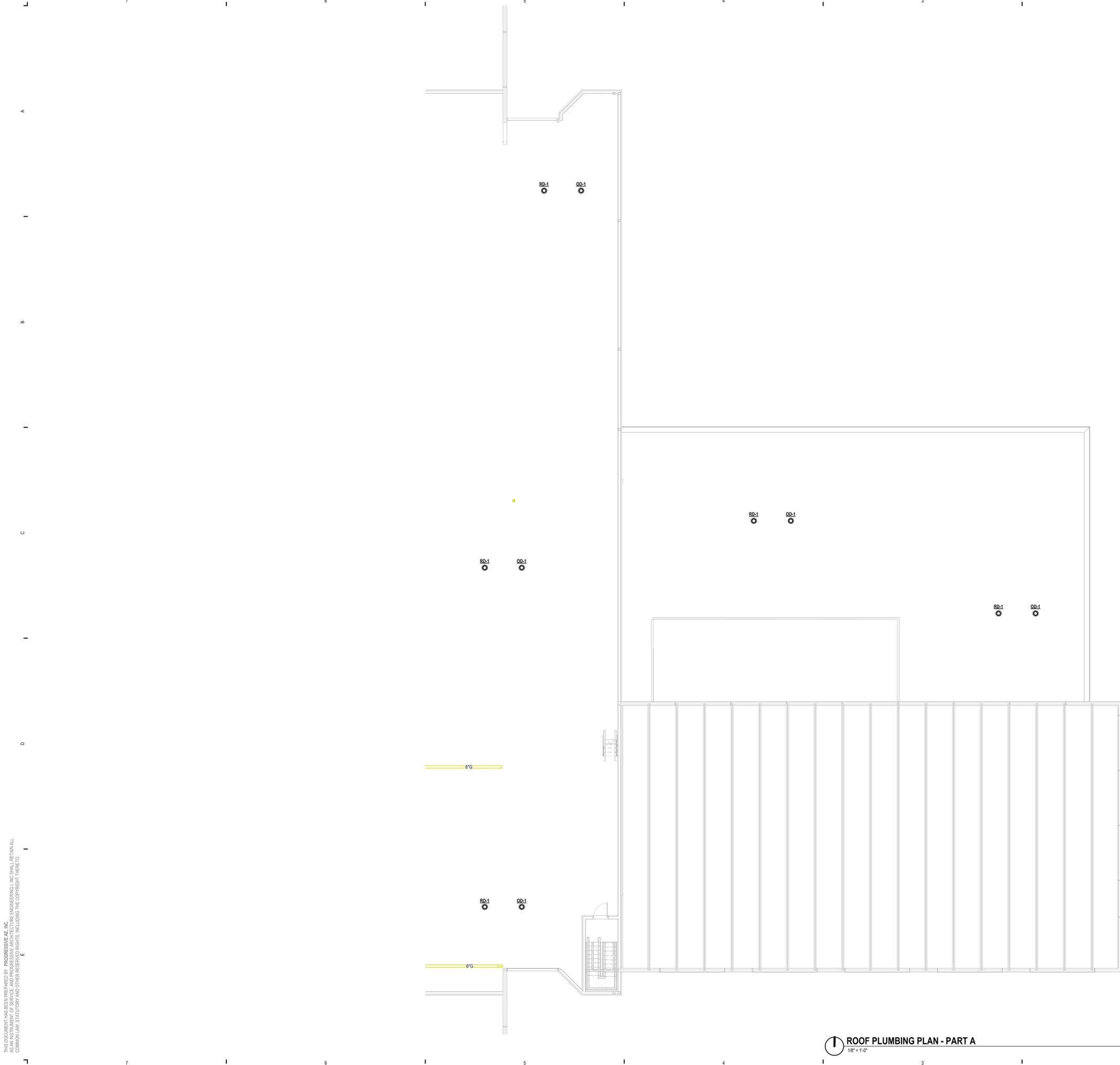
FIRST FLOOR PLUMBING PLAN - PART C
1/8" = 1'-0"

PLUMBING KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



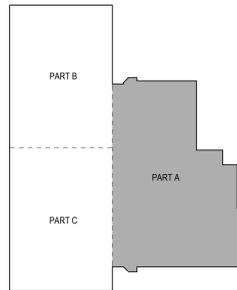


ROOF PLUMBING PLAN - PART A
1/8" = 1'-0"

PLUMBING KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



PROJECT NUMBER
7880004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
K. JAGER
CHECKED BY
J. GREEN

ROOF PLUMBING
PLAN - PART A
P104A

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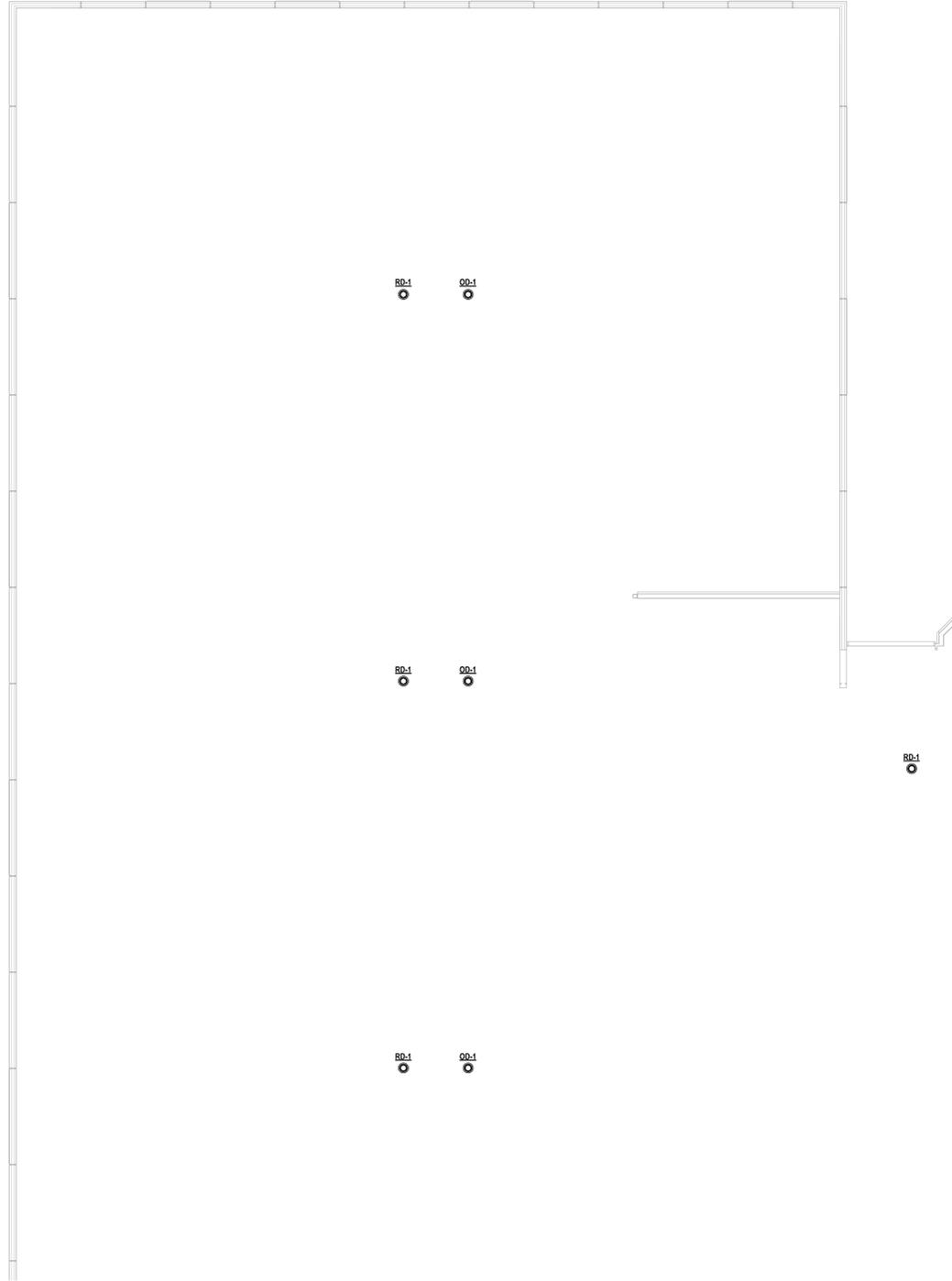
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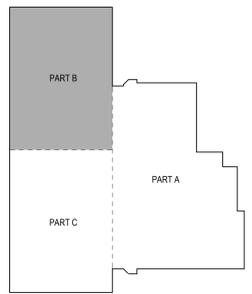


ROOF PLUMBING PLAN - PART B
1/8" = 1'-0"

PLUMBING KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



PROJECT NUMBER
7080004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
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J. GREEN

ROOF PLUMBING
PLAN - PART B
P104B

ISSUANCE
03/20/2024 SCHEMATIC DESIGN

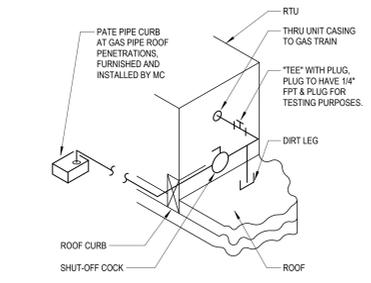
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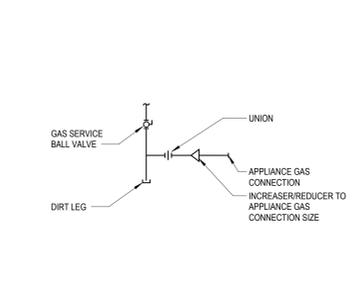
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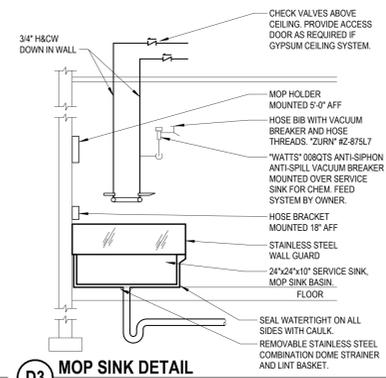
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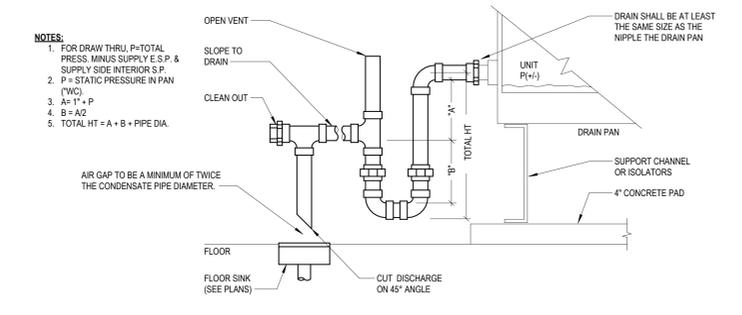
D5 RTU GAS PIPING
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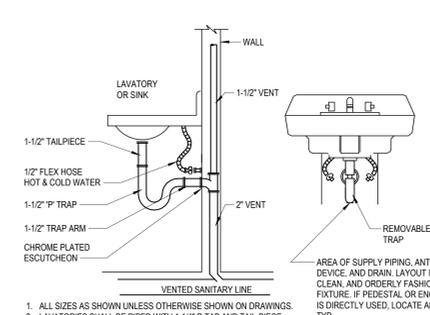
D4 GAS PIPING DIAGRAM
NOT TO SCALE



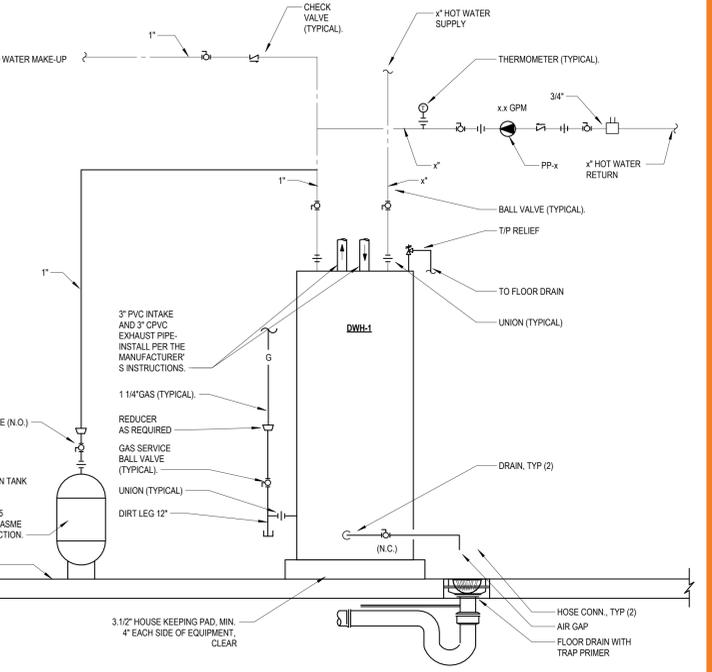
D3 MOP SINK DETAIL
NOT TO SCALE



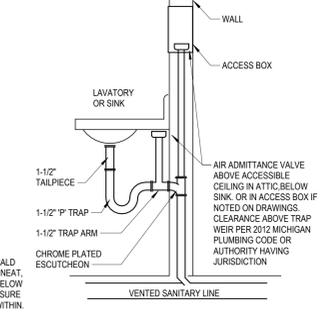
E5 RTU CONDENSATE TRAP DETAIL
NOT TO SCALE



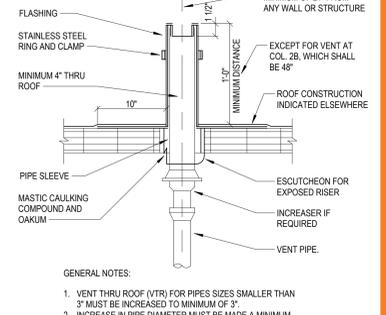
E2 TYPICAL SINK/LAVATORY DETAIL
NOT TO SCALE



D1 HOT WATER SYSTEM PIPING SCHEMATIC
NOT TO SCALE



E1 PLUMBING VENT THROUGH ROOF DETAIL
NOT TO SCALE



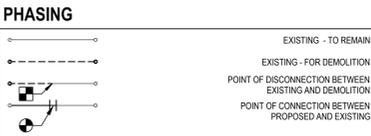
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ABBREVIATIONS - HVAC

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes items like AC (AIR COMPRESSOR), CWS (CHILLED WATER SUPPLY), HTR (HEATER), RC (RE-HEAT COIL), etc.

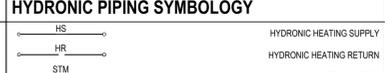
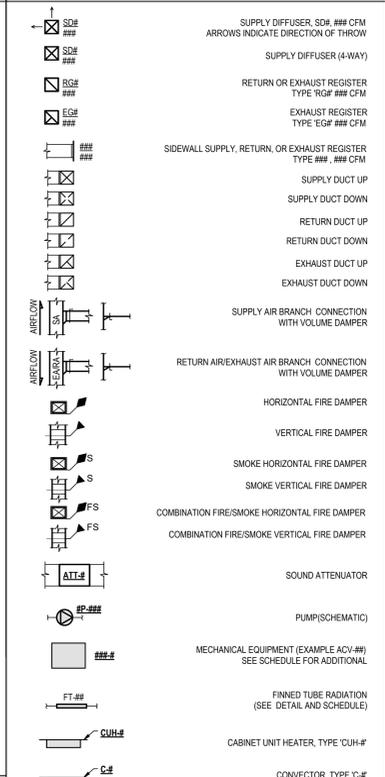
MECHANICAL SHEET INDEX table with columns: NUMBER, DESCRIPTION. Lists sheets M001 through M001.

SHEETMETAL SYMOLOGY table with columns: Symbol, Description. Lists symbols for SA (SUPPLY AIR), HDS (HOT DECK SUPPLY AIR), etc.



HYDRONIC PIPING SYMBOLS table with columns: Symbol, Description, Symbol, Description. Lists symbols for HS (HYDRONIC HEATING SUPPLY), HR (HYDRONIC HEATING RETURN), etc.

MECHANICAL SYMBOLS



HYDRONIC PIPING SYMOLOGY table with columns: Symbol, Description, Symbol, Description. Lists symbols for HS (HYDRONIC HEATING SUPPLY), HR (HYDRONIC HEATING RETURN), etc.

MECHANICAL GENERAL NOTES

- 1. COMPLY WITH ALL APPLICABLE LOCAL, STATE AND/OR REGULATORY AGENCIES, CODES AND REGULATIONS FOR NEW WORK.
2. DO NOT INSTALL EQUIPMENT, PIPING OR DUCTWORK OVER ANY ELECTRICAL EQUIPMENT OR COMMUNICATION ROOMS.
3. DO NOT RUN ANY PIPING OR DUCTWORK INTO THE ELECTRICAL ROOM UNLESS DEDICATED TO SERVE THAT ROOM.
4. INSTALL MECHANICAL EQUIPMENT TO FACILITATE SERVICING, MAINTENANCE, AND REPAIR OR REPLACEMENT OF EQUIPMENT COMPONENTS, AS MUCH AS PRACTICAL, CONNECT EQUIPMENT FOR EASE OF DISCONNECTING WITH A MINIMUM OF INTERFERENCE WITH OTHER INSTALLATIONS.
5. LOCATE THERMISTAT/TEMPERATURE SENSORS 48" ABOVE FINISHED FLOOR OR AS NOTED ON THE PLANS.
6. WORK IDENTIFIED WITH MECHANICAL AND ELECTRICAL NOTES AND KEY NOTES SHALL BE PERFORMED BY QUALIFIED MECHANICAL AND ELECTRICAL CONTRACTORS RESPECTIVELY UNDER DIRECTION OF THE CONSTRUCTION MANAGER, COORDINATE WITH OWNER'S REPRESENTATIVE OR CONSTRUCTION MANAGER.
7. INSTALL SMOKE DETECTOR IN DUCTWORK AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.
8. VERIFY ALL CONDITIONS IN FIELD BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
9. COORDINATE WORK WITH OTHER TRADES AND WITH THE CONSTRUCTION MANAGER.
10. COORDINATE ANY REQUIRED SHUTDOWN OF SERVICES OR EQUIPMENT WITH OWNER'S REPRESENTATIVE OR CONSTRUCTION MANAGER. MINIMIZE INTERRUPTION OF EXISTING SERVICES.
11. PROVIDE ALL MISCELLANEOUS STEEL AND ITEMS REQUIRED FOR THE PROPER INSTALLATION OF ALL PIPE, SHEET METAL AND EQUIPMENT.
12. COORDINATE FLOOR, WALL & ROOF PENETRATIONS ETC. WITH ARCHITECTURAL TRADES.
13. FIRESTOP SHALL BE PROVIDED IN HOLES AND PENETRATIONS IN RATED ASSEMBLIES.

SHEETMETAL NOTES

- 1. THE INSTALLATION OF ALL DUCTWORK SHALL BE CLOSELY COORDINATED WITH NEW PLUMBING, ELECTRICAL, AND STRUCTURAL CONDITIONS. NOT ALL REQUIRED OFFSETS AND FITTINGS ARE INDICATED ON DRAWINGS, BUT SHALL BE PROVIDED. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR CLEARANCES. ALTERNATE DUCT ROUTING SHALL BE APPROVED BY ARCHITECT/ENGINEER BEFORE PROCEEDING IN ORDER TO ENSURE THAT THE AVAILABLE STATIC PRESSURE REMAINS ADEQUATE. DUCTWORK LOCATION SHALL TAKE PRECEDENCE OVER HVAC AND FIRE PROTECTION PIPING AND ELECTRICAL CONDUIT AND CABLE TRAY.
2. REFER TO DUCT TAKEOFF DETAILS. SPIN-IN TYPE WITH SCOOPS SHALL NOT BE ACCEPTED. A MINIMUM OF 2 FEET SHALL BE PROVIDED BETWEEN RUNOUT TAKEOFFS FROM TRUNK DUCTS.
3. THERMOSTAT AND SENSORS LOCATIONS WITHIN DUCTWORK SHALL BE VERIFIED WITH ARCHITECT/ENGINEER BEFORE ROUGH-IN.
4. RUN BALANCING DAMPERS SHALL BE MOUNTED AS CLOSE TO MAIN DUCT AS POSSIBLE.
5. DUCTWORK LAYOUT HAS BEEN DESIGNED TO ABSORB NOISE. ALL FITTINGS SHALL BE PROVIDED AS INDICATED.
6. TERMINAL UNITS SHALL BE MOUNTED TO NOT IMPAIR ACCESS TO FILTERS, COILS AND CONTROLS.
7. WATER-TIGHT CONCRETE CURBS SHALL BE PROVIDED AROUND ELEVATED FLOOR SLAB PENETRATIONS.
8. DUCTWORK AND ASSOCIATED COMPONENTS SHALL CLEAR DOORS AND WINDOWS.
9. UNLESS OTHERWISE NOTED, ALL DUCTWORK ABOVE CEILING OR EXPOSED IS OVERHEAD AND AS HIGH AS POSSIBLE TO THE UNDERSIDE OF THE STRUCTURE, WITH SPACE FOR INSULATION WHERE REQUIRED.
10. LOCATE MECHANICAL EQUIPMENT SUCH THAT THERE IS UNOBSTRUCTED ACCESS TO UNIT ACCESS PANELS, CONTROLS AND VALVING.
11. PROVIDE FLEXIBLE CONNECTIONS IN ALL DUCTWORK SYSTEMS CONNECTED TO MECHANICAL EQUIPMENT THAT REQUIRE VIBRATION ISOLATION. FLEXIBLE CONNECTIONS SHALL BE PROVIDED AT THE POINT OF CONNECTION TO THE EQUIPMENT UNLESS OTHERWISE NOTED.
12. DUCTWORK SIZES ARE INSIDE CLEAR DIMENSIONS.
13. ALL ELBOWS IN DUCTWORK SHALL BE RADIUS ELBOWS UNLESS OTHERWISE NOTED. RADIUS ELBOWS SHALL HAVE CENTERLINE RADIUS OF CURVATURE 1.5 TIMES THE DUCT DIAMETER OR WIDTH IN THE PLANE OF TURN. WHERE SQUARE ELBOWS ARE SHOWN, INSTALL TURNING VANES.
14. DUCTS CONNECTED TO EQUIPMENT SHALL EQUAL EQUIPMENT CONNECTION SIZE UNLESS NOTED OTHERWISE.
15. MAXIMUM LENGTH ON FLEXIBLE DUCT SHALL BE 5'-0", UNLESS OTHERWISE NOTED ON DETAILS OR SPECIFICATION.
16. REFER TO ARCH REFLECTED CEILING PLANS FOR EXACT DIFFUSER LOCATIONS IN AREAS WITH A CEILING.

HYDRONIC PIPING NOTES

- 1. THE INSTALLATION OF ALL PIPING SHALL BE CLOSELY COORDINATED WITH SHEET METAL, ELECTRICAL, AND STRUCTURAL CONDITIONS. NOT ALL REQUIRED OFFSETS AND FITTINGS ARE INDICATED ON DRAWINGS, BUT SHALL BE PROVIDED. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR CLEARANCES.
2. ALL PIPING SHALL BE INSTALLED TO FACILITATE COIL REMOVAL. FILTER REPLACEMENT AND OPENING OF ACCESS PANELS.
3. INSTALL MAINS AS HIGH AS POSSIBLE. MANUAL AIR VENTS SHALL BE PROVIDED AT ALL PIPING HIGH POINTS AND END OF PIPING LOOPS. PROVIDE REMOVABLE INSULATION PLUG.
4. PIPES, ANGERS, EXPANSION LOOPS, AND GUIDES SHALL BE PROVIDED AS REQUIRED. REFER TO SPECIFICATIONS.
5. SLEEVE AND SEAL EXTERIOR WALL AND ROOF PENETRATIONS TO A WEATHER TIGHT CONDITION. SLEEVE AND SEAL INTERIOR FLOOR PENETRATIONS TO A WATER TIGHT CONDITION.
6. PROVIDE MINIMUM OF 3/4" PIPE FOR ALL PIPING UNLESS SHOWN OTHERWISE.
7. ALL VALVES ARE TO BE FULL LINE SIZE EXCEPT CONTROL AND BALANCING VALVES.
8. PROVIDE 1/2" DRAIN VALVES WITH HOSE-END CAPS AT ALL LOW POINTS IN PIPING. PROVIDE MINIMUM PITCH SUFFICIENT TO INSURE ADEQUATE DRAINING. PROVIDE REMOVABLE INSULATION PLUG.
9. ELEVATIONS AS SHOWN ON THE DRAWINGS ARE TO THE BOTTOM OF ALL PRESSURE PIPING AND TO THE INVERT OF ALL GRAVITY PIPING UNLESS OTHERWISE NOTED.
10. UNLESS OTHERWISE NOTED, ALL PIPING IS OVERHEAD AND AS HIGH AS POSSIBLE TO THE UNDERSIDE OF THE STRUCTURE OR SLAB, WITH SPACE FOR INSULATION WHERE REQUIRED.
11. PIPING AND ASSOCIATED APPURTENANCES SHALL NOT INTERFERE WITH DOORS AND WINDOWS.
12. INSTALL PIPING WITHOUT FORCING OR SPRINGING.
13. ALL PIPING WORK SHALL BE COORDINATED WITH ALL TRADES INVOLVED. PROVIDE OFFSETS IN PIPING AROUND OBSTRUCTIONS ENCOUNTERED IN FIELD.
14. PROVIDE VIBRATION ISOLATORS FOR ALL PIPING SUPPORTS CONNECTED TO, AND WITHIN 50 FEET OF ISOLATED EQUIPMENT (EXCEPT AT BASE ELBOW SUPPORTS AND ANCHOR POINTS) THROUGHOUT MECHANICAL EQUIPMENT ROOMS.
15. FOR BALANCING 3-WAY VALVES, BALANCE BY PASS WITH VALVE AT 50% POSITION SUCH THAT TOTAL FLOW DOES NOT EXCEED 100%.
16. AIR CONDITIONING CONDENSATE DRAIN LINES FROM EACH UNIT'S DRAIN PAN SHALL BE PIPED FULL SIZE OF THE UNIT DRAIN OUTLET WITH "P" TRAP. CONDENSATE WATER PIPING SHALL BE A MINIMUM OF 3/4". SEE THE DETAILS SHOWN IN THE DRAWINGS OR MANUFACTURER'S LITERATURE FOR THE DEPTH OF THE AIR CONDITIONING CONDENSATE TRAP. PITCH DOWN IN DIRECTION OF FLOW, MINIMUM 1 INCH PER 10 FEET.
17. INSTALL PIPING SO ALL VALVES, STRAINERS, UNIONS, TRAPS, FLANGES AND OTHER APPURTENANCES REQUIRING ACCESS ARE ACCESSIBLE.
18. PROVIDE PRESSURE/TEMPERATURE (PT) PLUGS, WITH CAPS UP AND DOWNSTREAM OF ALL EQUIPMENT, AT THE SUPPLY AND RETURN TAPS OF ALL PIPING BRANCHES AND/OR WHERE INDICATED. PROVIDE EXTENDED PLUGS AND LABELS WHERE PIPING IS INSULATED.
19. WHERE SPACE PERMITS PROVIDE AUXILIARY DRAIN PANS UNDER COOLING EQUIPMENT LOCATED ABOVE CEILINGS, WHERE SPACE DOES NOT PERMIT THE USE OF AN AUXILIARY DRAIN PAN PROVIDE WATER LEVEL DETECTION DEVICE FLOAT SWITCH (CONFORMING TO UL 508 THAT WILL SHUT OFF THE EQUIPMENT SERVED IN THE EVENT THAT THE PRIMARY DRAIN IS BLOCKED).
20. PROVIDE FLUSHING VALVES AND TEES AT BOTH ENDS OF ALL EQUIPMENT. TAPS SHALL MATCH EQUIPMENT PIPING UP TO 1". FOR LARGER EQUIPMENT AND PIPE LOOPS, PROVIDE 1-1/2" TAPS AND VALVES.
21. ALL HYDRONIC PIPING BRANCH TAKEOFFS FROM MAINS SHALL BE MADE WITH SWING JOINTS.
22. USE THE FOLLOWING TABLE FOR PIPING RUNOUT SIZES TO HEATING AND COOLING ELEMENTS. REFER TO SCHEDULE FOR SPECIFIED GPM.

Table with 2 columns: GPM RANGE, PIPE SIZE. Lists ranges like 0.5-2.5 (3/4"), 2.6-6.0 (1"), etc.

Harbor Transit New Operations Center Construction. Includes Progressive AE logo, Harbor Transit logo, and project information: PROJECT NUMBER 7880004, PROJECT MANAGER S. HORTON, PROFESSIONAL K. JAGER, DRAWN BY K. JAGER, CHECKED BY J. GREEN, GENERAL MECHANICAL INFORMATION M001.

FIRST FLOOR HVAC PLAN - PART B
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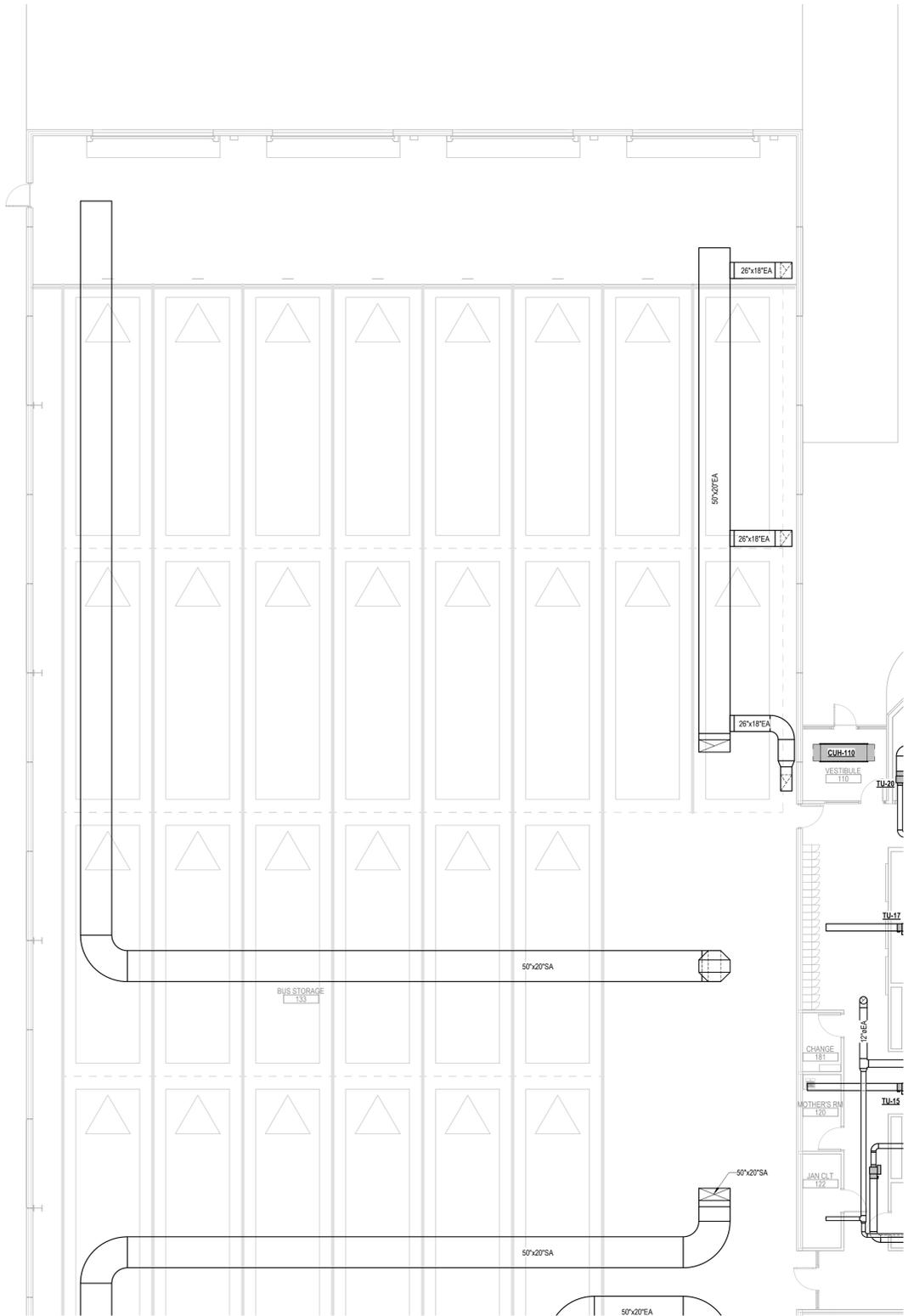
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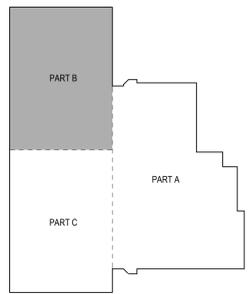


FIRST FLOOR HVAC PLAN - PART B
1/8" = 1'-0"

HVAC KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



PROJECT NUMBER
7880004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
K. JAGER
CHECKED BY
J. GREEN

FIRST FLOOR
HVAC PLAN -
PART B
MH101B

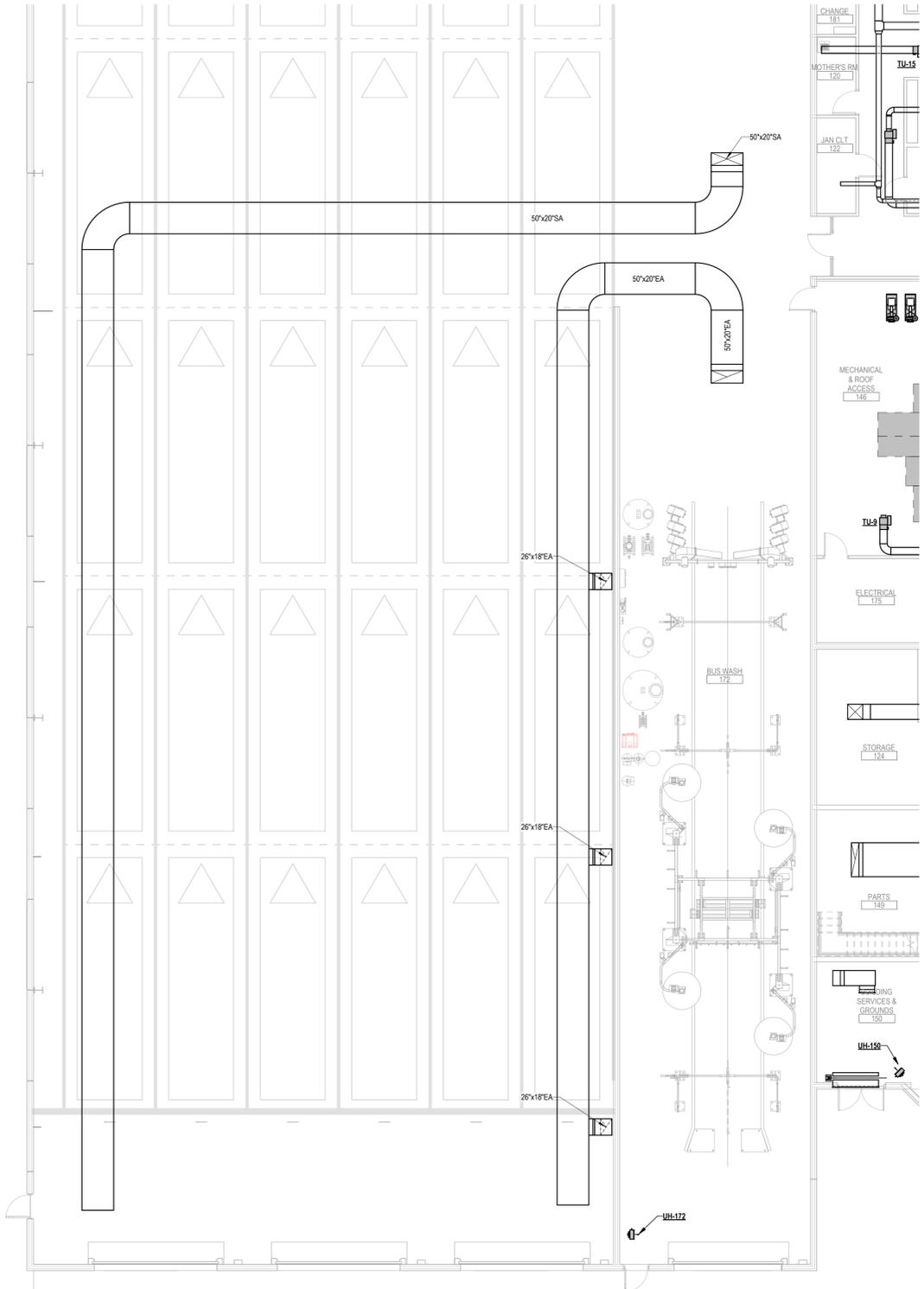
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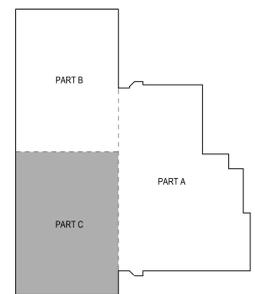


FIRST FLOOR HVAC PLAN - PART C
1/8" = 1'-0"

HVAC KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



FIRST FLOOR HVAC PLAN - PART C
MH101C

PROJECT NUMBER
7890004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
K. JAGER
CHECKED BY
J. GREEN

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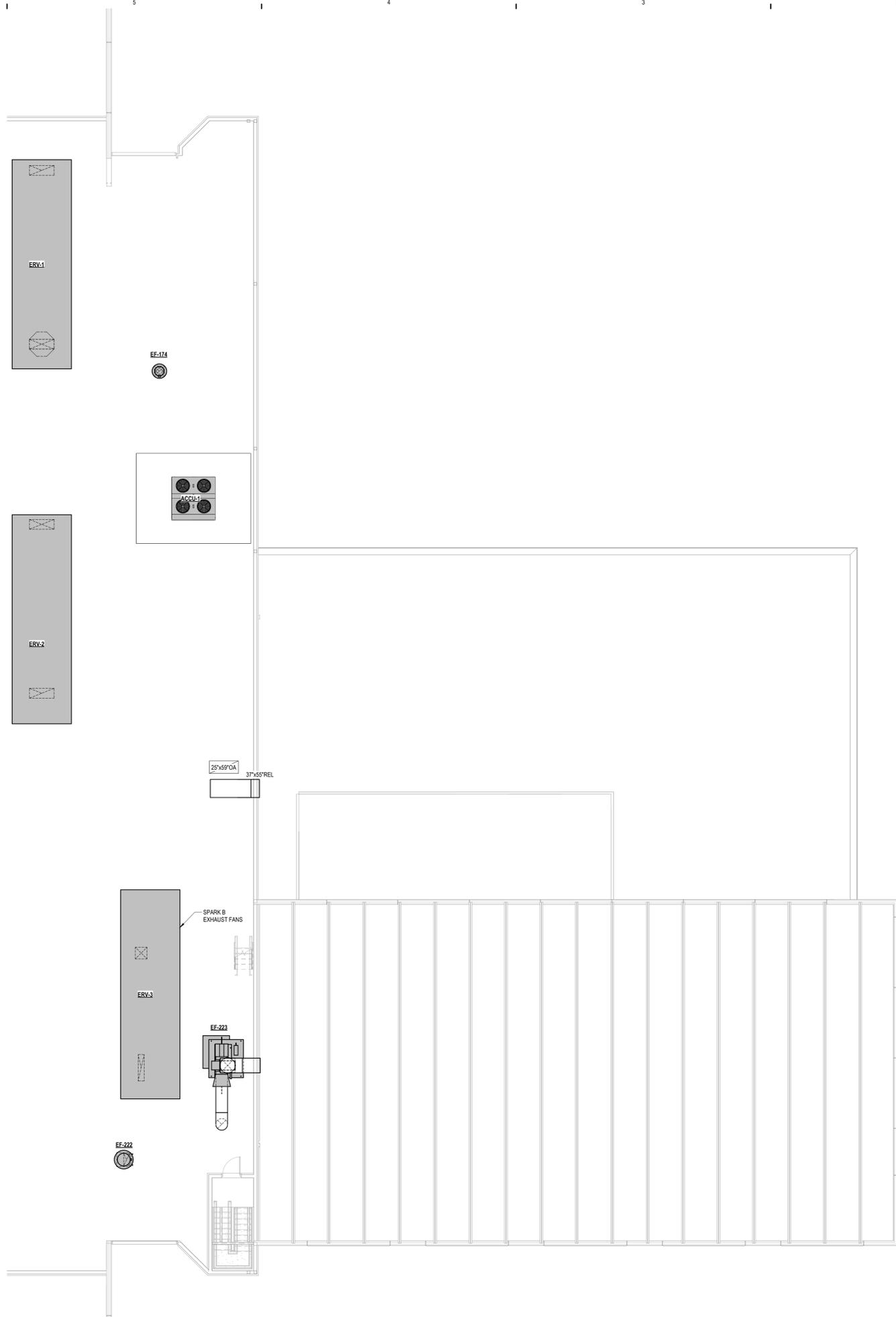
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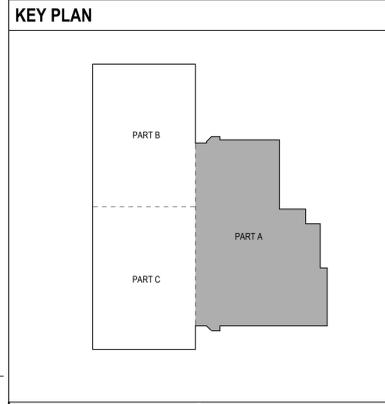
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ROOF HVAC PLAN - PART A
1/8" = 1'-0"

HVAC KEYNOTES

1. ADD NOTES HERE.



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PROJECT NUMBER
7808004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
K. JAGER
CHECKED BY
J. GREEN

**ROOF HVAC
PLAN - PART A
MH104A**

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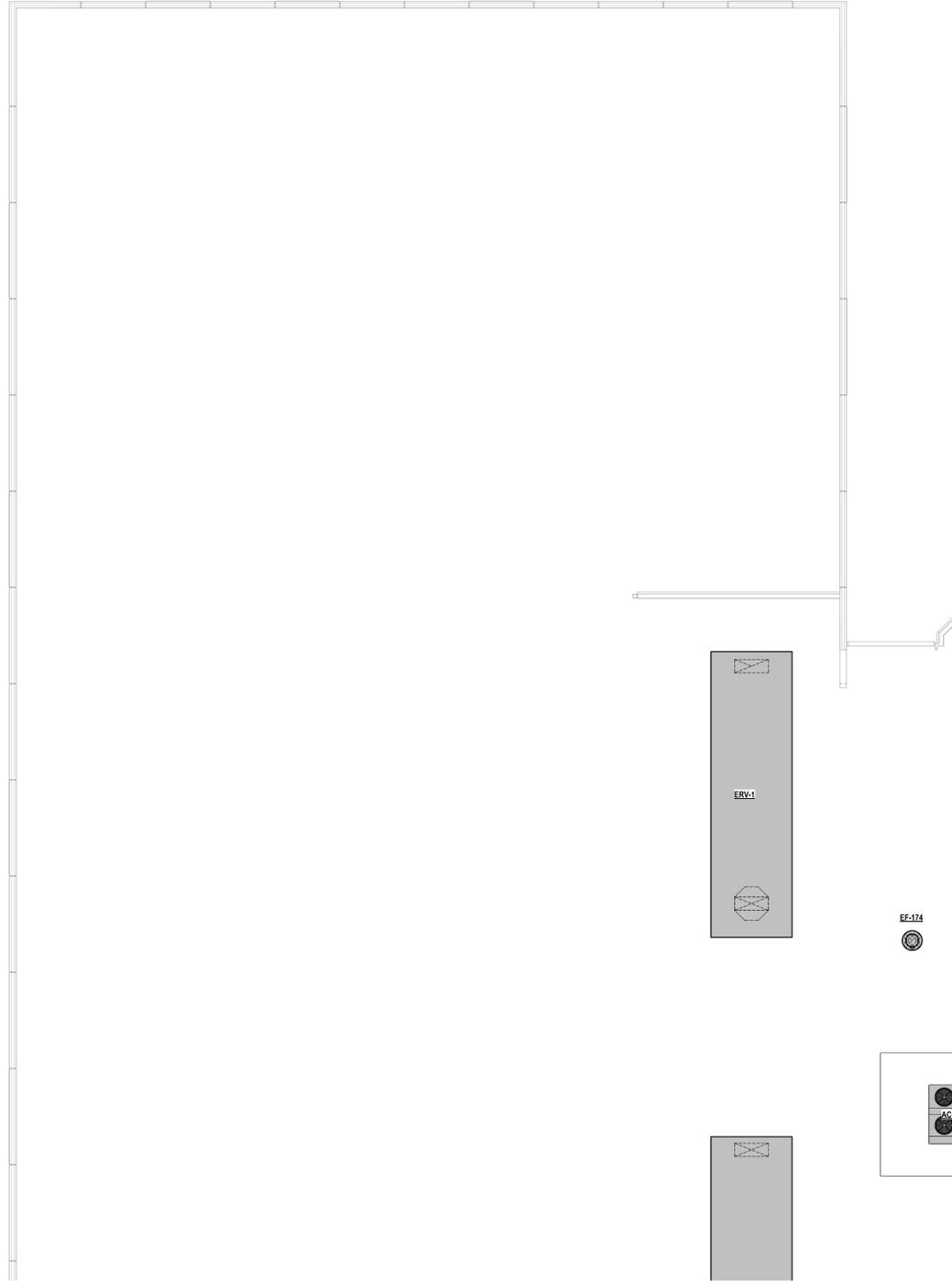
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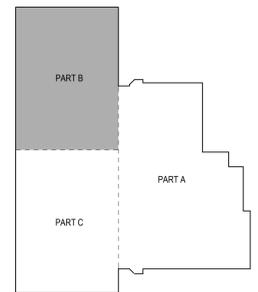


ROOF HVAC PLAN - PART B
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HVAC KEYNOTES

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KEY PLAN



PROJECT NUMBER
7083004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
DRAWN BY
K. JAGER
CHECKED BY
J. GREEN

ROOF HVAC
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ROOF HVAC PLAN - PART C
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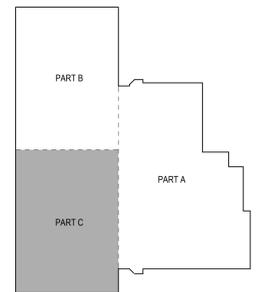


ROOF HVAC PLAN - PART C
1/8" = 1'-0"

HVAC KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



ROOF HVAC PLAN - PART C
MH104C

PROJECT NUMBER
7080004
PROJECT MANAGER
S. HORTON
PROFESSIONAL
K. JAGER
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K. JAGER
CHECKED BY
J. GREEN

ISSUANCE
03/20/2024 SCHEMATIC DESIGN

COA ARCHITECT COA ENGINEER

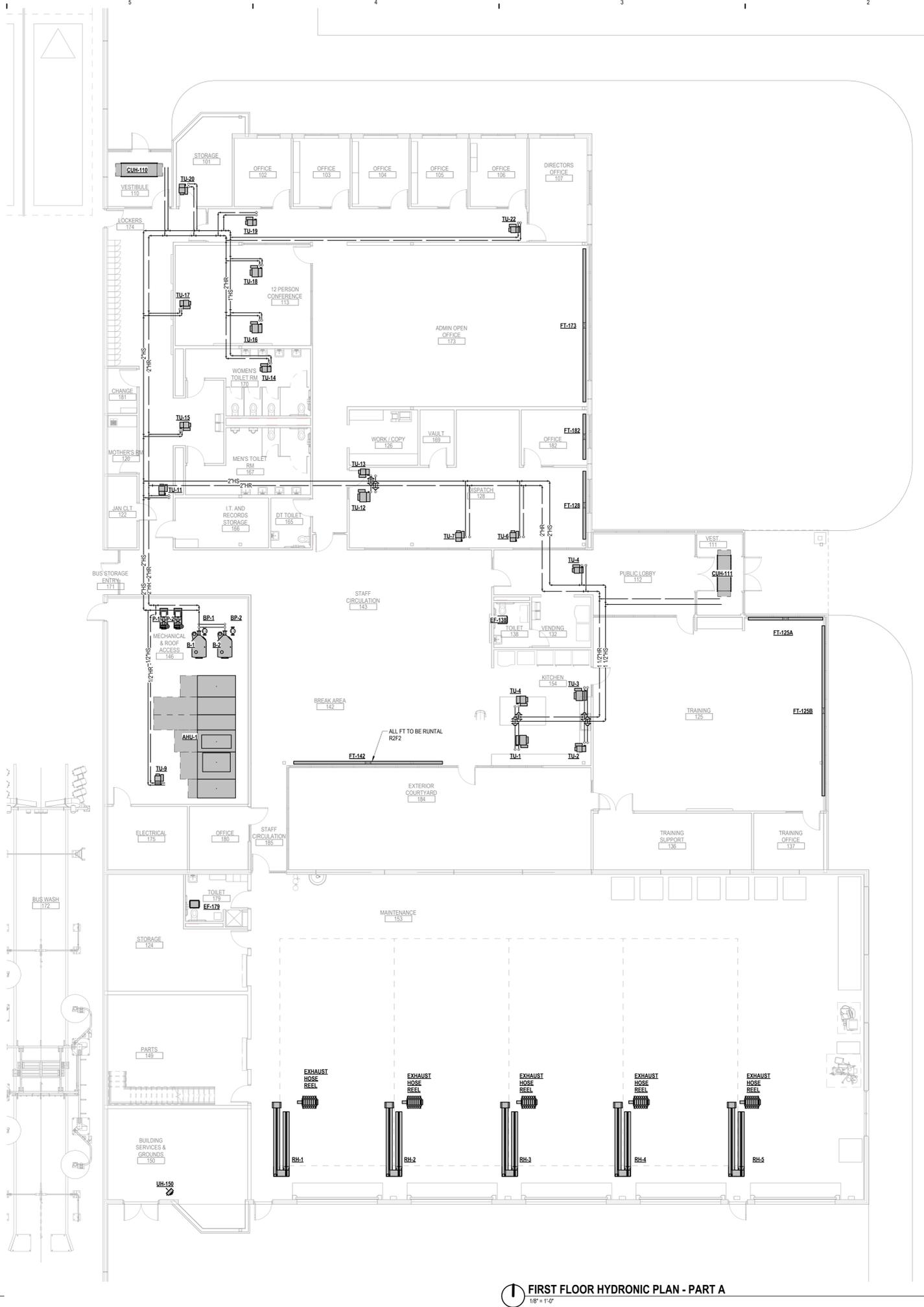
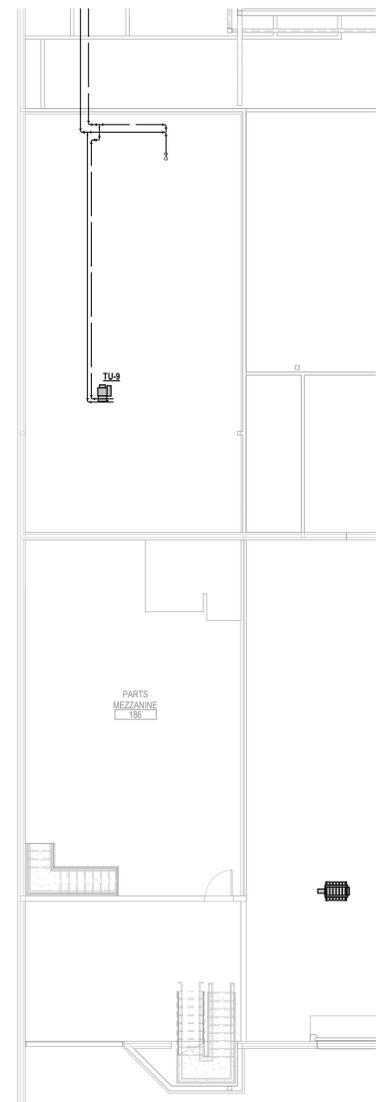
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FIRST FLOOR HYDRONIC PLAN - PART A
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MEZZANINE HYDRONIC PLAN
1/8" = 1'-0"

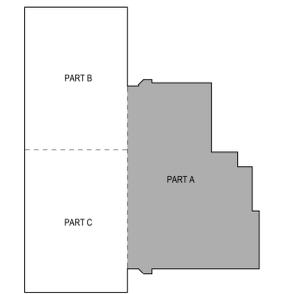


FIRST FLOOR HYDRONIC PLAN - PART A
1/8" = 1'-0"

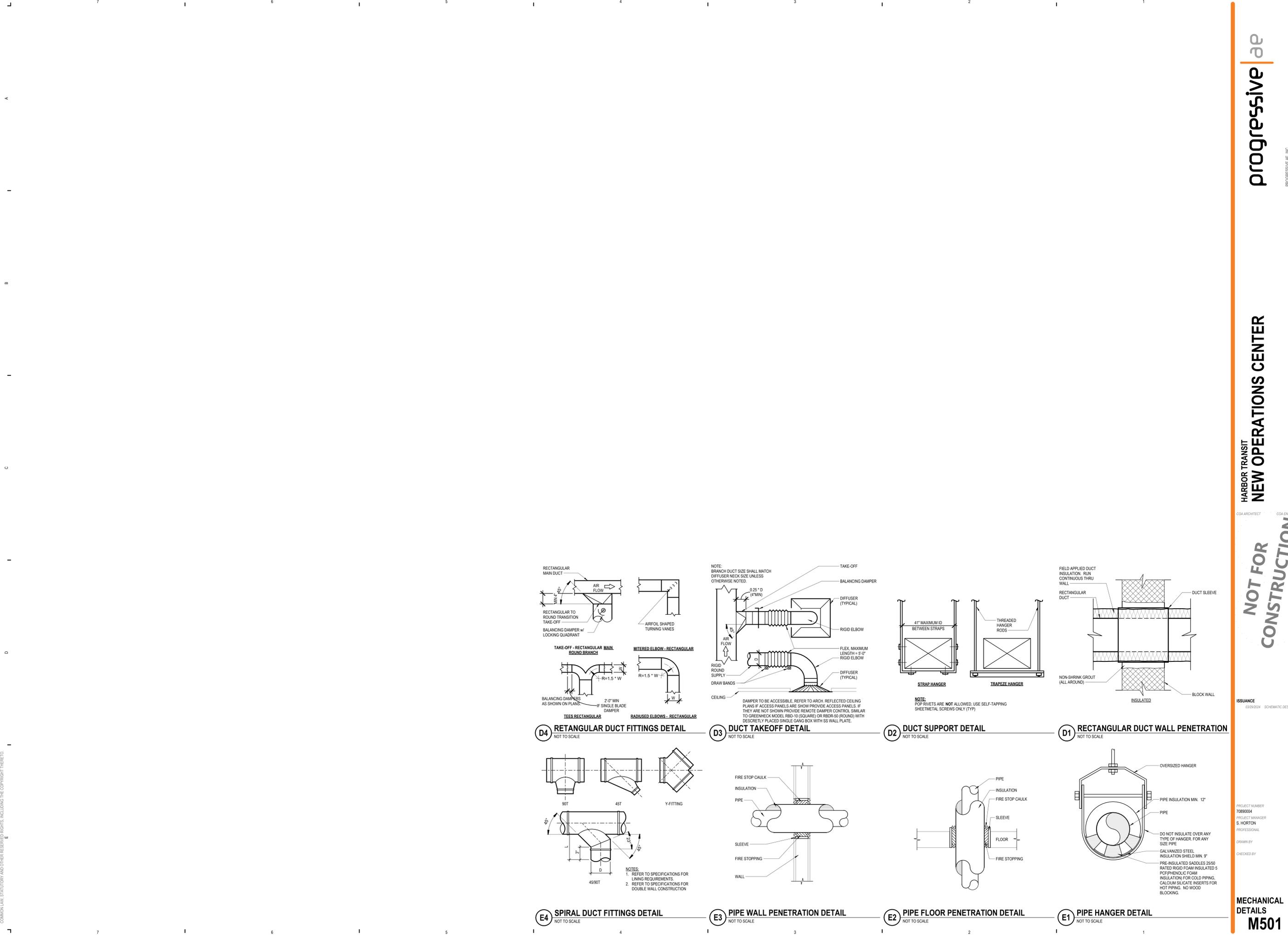
HYDRONIC KEYNOTES

1. ADD NOTES HERE.

KEY PLAN



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ELECTRICAL ABBREVIATIONS

Table of electrical abbreviations including ACU (Air Conditioning Unit), AFG (Above Finish Grade), AHU (Air Handling Unit), AL (Aluminum), AP (Access Panel), APPROX (Approximate), ATS (Automatic Transfer Switch), AUX (Auxiliary), AWG (American Wire Gauge), B (Boiler), BAS (Building Automation System), BF (Barrier Free), BFG (Below Finished Grade), BMS (Building Management System), BOD (Bottom of Device), BSM (Basement), C (Conduit), CATV (Community Antenna Television), CB (Circuit Breaker), CCTV (Closed-Circuit Television), CF (Ceiling Fan), CH (Cabinet Heater), CL (Centerline), CLR (Clearance), CMPR (Compressor), CONV (Convector), CP (Circulating Pump), CR (Card Reader), CT (Cooling Tower), CU (Copper), DEPT (Department), DET (Detail), DISC (Disconnect), DIST (Distribution), DW (Dishwasher), DWH (Domestic Water Heater), EF (Exhaust Fan), ELEC (Electric), ELEV (Elevator), EM (Emergency), EMS (Energy Management System), EMT (Electrical Metallic Tubing), EWC (Electric Water Cooler), EWH (Electric Water Heater), FA (Fire Alarm), FACP (Fire Alarm Control Panel), FBO (Furnished by Others), FC (Flexible Connection), FDS (Fused Disconnect Switch), FIXT (Fixture), FL (Fluorescent), FLA (Full Load Amps), FLEX (Flexible), FMC (Flexible Metal Conduit), FURN (Furnished), GALV (Galvanized), GEN (Generator), GFI (Ground Fault Circuit Interrupter), GND (Ground), HP (Horsepower), HTG (Heating), HTR (Heater), HV (High Voltage), IBC (International Building Code), IG (Isolated Ground), IMC (Intermediate Metal Conduit), JBOX (Junction Box), KVA (Kilovolt-Amperes), KW (Kilowatts), KWH (Kilowatt-Hours), LEED (Leadership in Energy and Environmental Design), LGT (Lighting), LV (Low Voltage), MC (Mechanical Contractor), MCA (Minimum Circuit Amps), MCB (Main Circuit Breaker), MCC (Motor Control Center), MD (Motorized Damper), MDP (Main Distribution Panel), MECH (Mechanical), MFDS (Main Fused Disconnect Switch), MH (Manhole), MLD (Main Lugs Only), MOP (Maximum Overcurrent Protection), MSBD (Main Switch Board), MT (Mount), MTR (Motor, Motorized), MTS (Manual Transfer Switch), NEMA (National Electrical Manufacturers Association), NL (Night Light), OH (Overhead), OHD (Overhead Door), P (Pump), PH (Phase), PNL (Panel), PP (Power Pole), PRI (Primary), PVP (Polyvinyl Chloride), PWR (Power), RECEPT (Receptacle), RTU (Rooftop Unit), TEL (Telephone), TR (Tamper Resistant), TV (Television), UE (Underground Electrical), UG (Underground), UH (Unit Heater), V (Volts), VA (Volt-Amperes), VFD (Variable Frequency Drive), W (Watts), WH (Water Heater), XFR (Transfer), XFRM (Transformer), Ø (Phase).

DATA SYMBOL LEGEND table with columns: SYMBOL, DESCRIPTION, HEIGHT TO MIDDLE OF DEVICE (U.N.O.), and various electrical symbols.

NOTE: SYMBOLS REPRESENT EQUIPMENT SPECIFIED BY OTHERS. THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS INCLUDES DEVICE BACKBOX AND CONDUIT FROM BACKBOX TO ABOVE ACCESSIBLE CEILING TERMINATED WITH INSULATED BUSHING (UNLESS NOTED OTHERWISE).

FIRE ALARM SYMBOL LEGEND table with columns: SYMBOL, DESCRIPTION, HEIGHT TO MIDDLE OF DEVICE (U.N.O.), and fire alarm symbols.

LIGHTING SYMBOL LEGEND table with columns: SYMBOL, DESCRIPTION, HEIGHT TO MIDDLE OF DEVICE (U.N.O.), and lighting symbols.

WIRING SYMBOL LEGEND table with columns: SYMBOL, DESCRIPTION, and wiring symbols.

POWER SYMBOL LEGEND table with columns: SYMBOL, DESCRIPTION, HEIGHT TO MIDDLE OF DEVICE (U.N.O.), and power symbols.

SECURITY SYMBOL LEGEND table with columns: SYMBOL, DESCRIPTION, HEIGHT TO MIDDLE OF DEVICE (U.N.O.), and security symbols.

NOTE: SYMBOLS REPRESENT EQUIPMENT SPECIFIED BY OTHERS. THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS INCLUDES DEVICE BACKBOX AND 3/4" CONDUIT FROM BACKBOX TO ABOVE ACCESSIBLE CEILING TERMINATED WITH INSULATED BUSHING (UNLESS NOTED OTHERWISE).

GENERAL ELECTRICAL NOTES

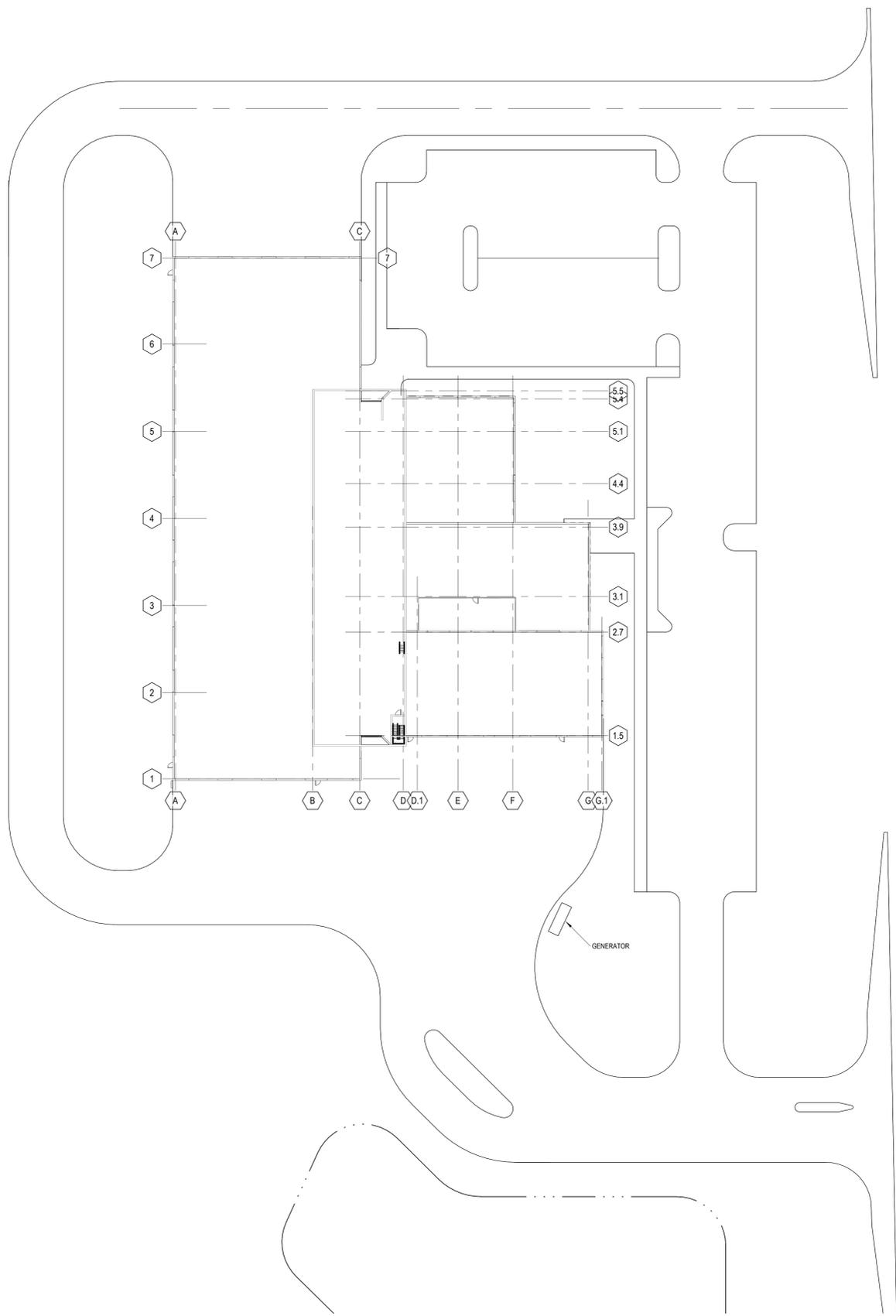
- 1. ALL WORK TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS ADOPTED BY THE AHJ FOR THE PROJECT LOCATION, INCLUDING (NOT LIMITED TO) ELECTRICAL CODES, BUILDING CODES, ENERGY CODES, ETC.
2. COORDINATE INSTALLATION WITH ARCHITECTURAL PLANS, ELEVATIONS, AND REFLECTED CEILING PLANS FOR DEVICE AND FIXTURE PLACEMENT, AS WELL AS FIRE RATED PARTITIONS, EXPANSION JOINTS, ETC.
3. COORDINATE INSTALLATION OF MECHANICAL EQUIPMENT POWER CONNECTIONS WITH MECHANICAL/PLUMBING PLANS, SCHEDULES AND PRODUCT DATA SUBMITTALS.
4. COORDINATE INSTALLATION WITH VENDOR/ CONTRACTOR SHOP DRAWINGS WHERE APPROPRIATE.
5. FIELD COORDINATE INSTALLATION WITH THE INSTALLATION OF OTHER TRADES TO AVOID CLASHES AND CONFLICTS.
6. WHERE MOUNTING HEIGHTS ARE SHOWN, THEY ARE TO BE CONSIDERED TO BE TO THE CENTER OF THE DEVICE, UNLESS NOTED OTHERWISE.
7. ALL CONDUCTORS OPERATING AT 50 VOLTS OR GREATER SHALL BE IN RACEWAY OR PART OF A LISTED CABLE ASSEMBLY SUITABLE FOR THE INSTALLED PURPOSE AND LOCATION, AND ALLOWED BY PROJECT SPECIFICATIONS.
8. ALL CABLES AND CONDUCTORS OPERATING AT LESS THAN 50 VOLTS SHALL BE IN RACEWAY WHERE INSTALLED WITHIN WALLS OR INACCESSIBLE SPACES. CABLES ABOVE ACCESSIBLE CEILING MAY BE ROUTED IN CABLE SUPPORT HOOKS/RINGS. CABLES TO BE ROUTED IN CABLE TRAY WHERE SHOWN.
9. FOR 20 AMPERE, 120 VOLT BRANCH CIRCUITS, USE #10 AWG CONDUCTORS FOR BRANCH CIRCUITS LONGER THAN 75 FEET AND #8 AWG CONDUCTORS FOR BRANCH CIRCUITS LONGER THAN 150 FEET, UNO. THIS SHALL BE REQUIRED FOR THE ENTIRE LENGTH OF THE CIRCUIT.
10. FOR 20 AMPERE, 277 VOLT BRANCH CIRCUITS, USE #10 AWG CONDUCTORS FOR BRANCH CIRCUITS LONGER THAN 150 FEET, UNO. THIS SHALL BE REQUIRED FOR THE ENTIRE LENGTH OF THE CIRCUIT.
11. WHERE CONFLICTS EXIST IN DRAWINGS OR BETWEEN DRAWINGS AND SPECIFICATIONS, ISSUE REQUEST FOR INTERPRETATION TO DESIGN TEAM FOR CLARIFICATION PRIOR TO INSTALLATION.
12. TV OUTLETS, VOLUME CONTROLS, TELEPHONE OUTLETS, DATA OUTLETS, AND FIRE ALARM DEVICES SHALL CONSIST OF A BACK BOX WITH CONDUIT STUBBED ABOVE THE ACCESSIBLE CEILING. VERIFY SIZE OF BACK BOX REQUIRED WITH DEVICE TO BE INSTALLED.
13. FURNISH AND INSTALL CONDUIT FROM BACK BOXES FOR THE FOLLOWING DEVICES INTO THE ACCESSIBLE CEILING SPACE IN THE CORRIDOR, UNLESS NOTED OTHERWISE:

Table listing device types and their required ceiling space: 34"C TV OUTLETS, 34"C VOLUME CONTROLS, 34"C TELEPHONE OUTLETS, 34"C INFORMATION OUTLETS, 34"C FIRE ALARM DEVICES.

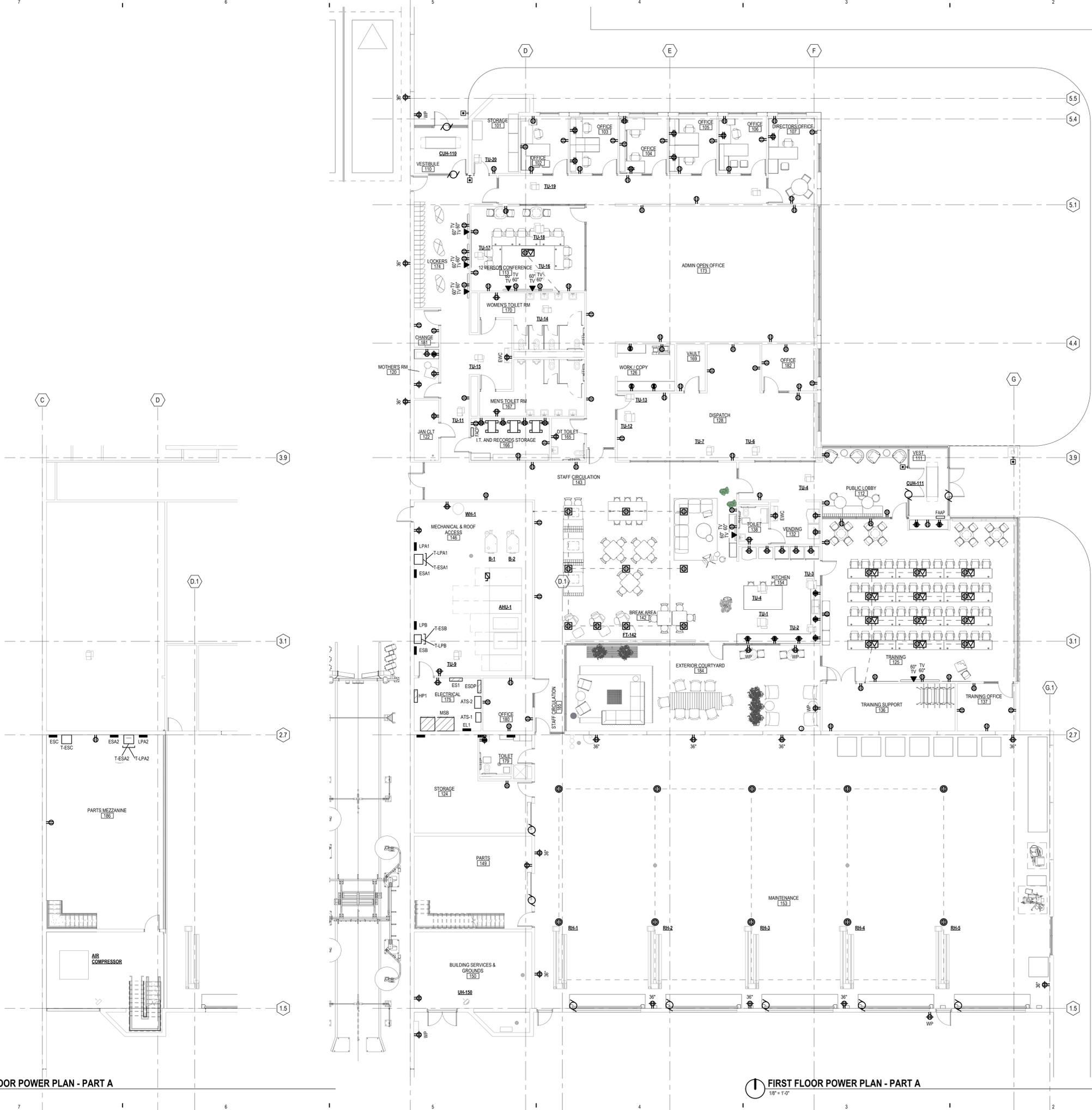
3/26/2024 7:22:32 PM Autodesk Docs/10890004 - Harbor Transit/10890004-HV06-ELECTRICAL
ELECTRICAL NOTES AND ABBREVIATIONS
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ELECTRICAL SITE PLAN
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1 SITE PLAN
1" = 30'-0"

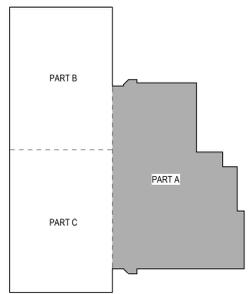


1 SECOND FLOOR POWER PLAN - PART A
1/8" = 1'-0"

1 FIRST FLOOR POWER PLAN - PART A
1/8" = 1'-0"

POWER KEYNOTES
1. (NOTES GO HERE)

KEY PLAN



A B C D E

7

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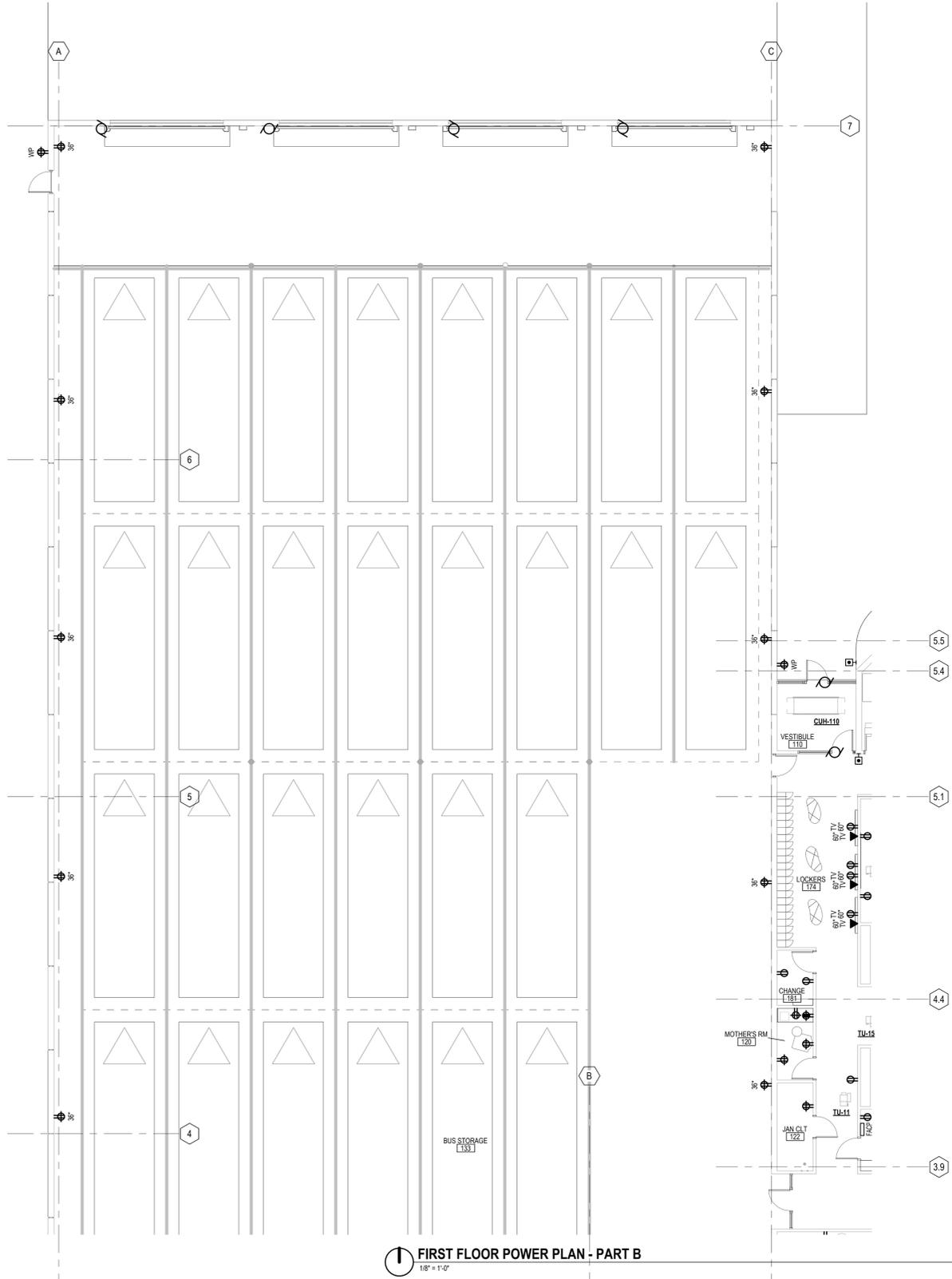
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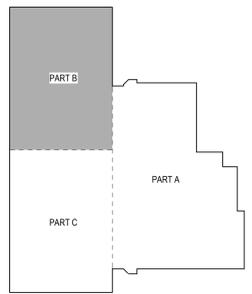
2

1



FIRST FLOOR POWER PLAN - PART B
1/8" = 1'-0"

KEY PLAN



POWER KEYNOTES

1. (NOTES GO HERE)

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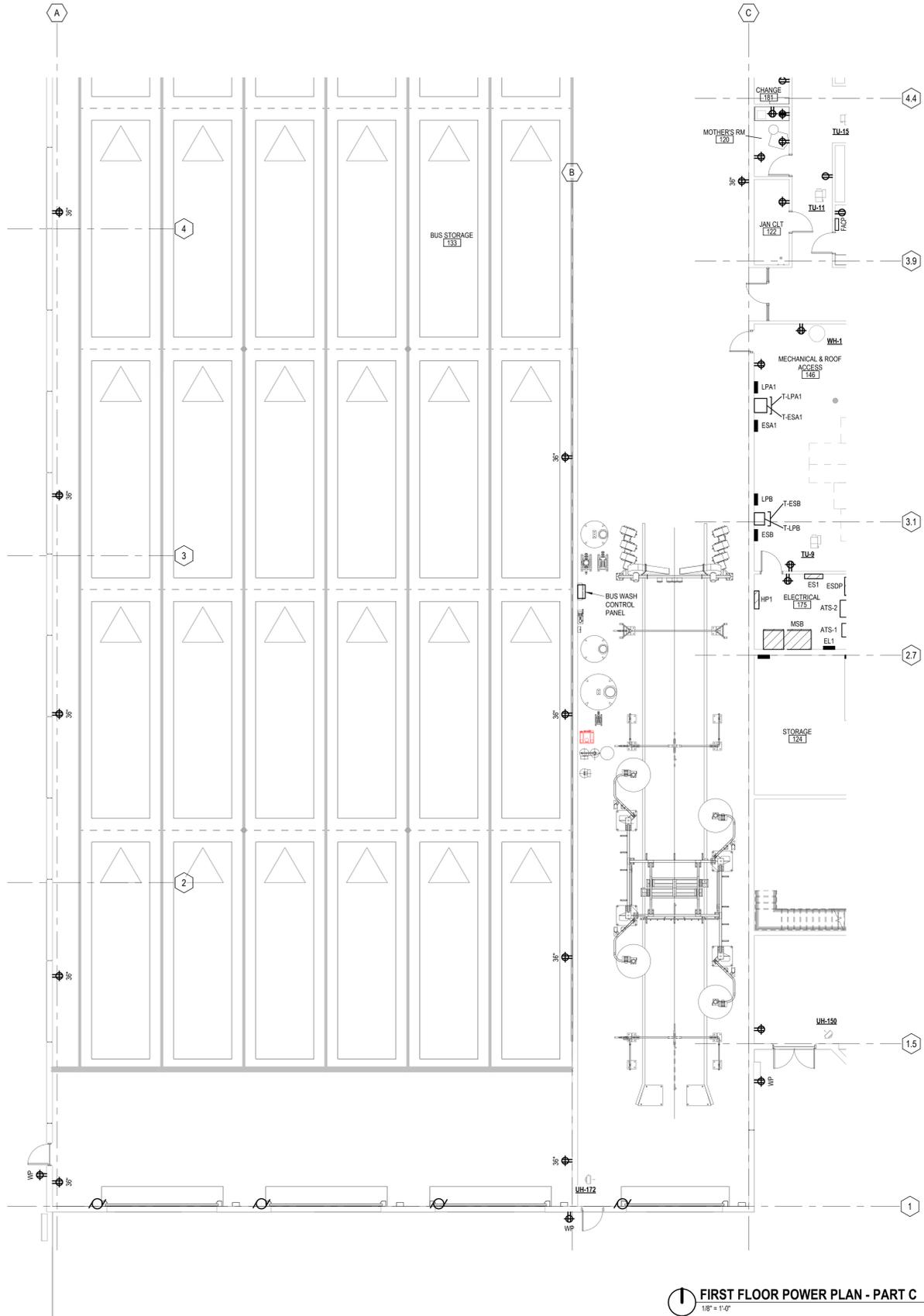
PROJECT NUMBER
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PROJECT MANAGER
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D. HERSCHER
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CHECKED BY
D. HERSCHER

FIRST FLOOR POWER PLAN - PART B
EP101B

progressive ae

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FIRST FLOOR POWER PLAN - PART C
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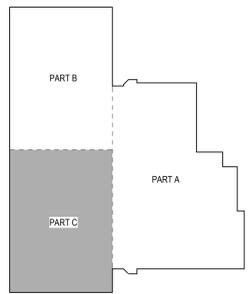


FIRST FLOOR POWER PLAN - PART C
1/8" = 1'-0"

POWER KEYNOTES

1. (NOTES GO HERE)

KEY PLAN



FIRST FLOOR POWER PLAN - PART C
EP101C

PROJECT NUMBER
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PROJECT MANAGER
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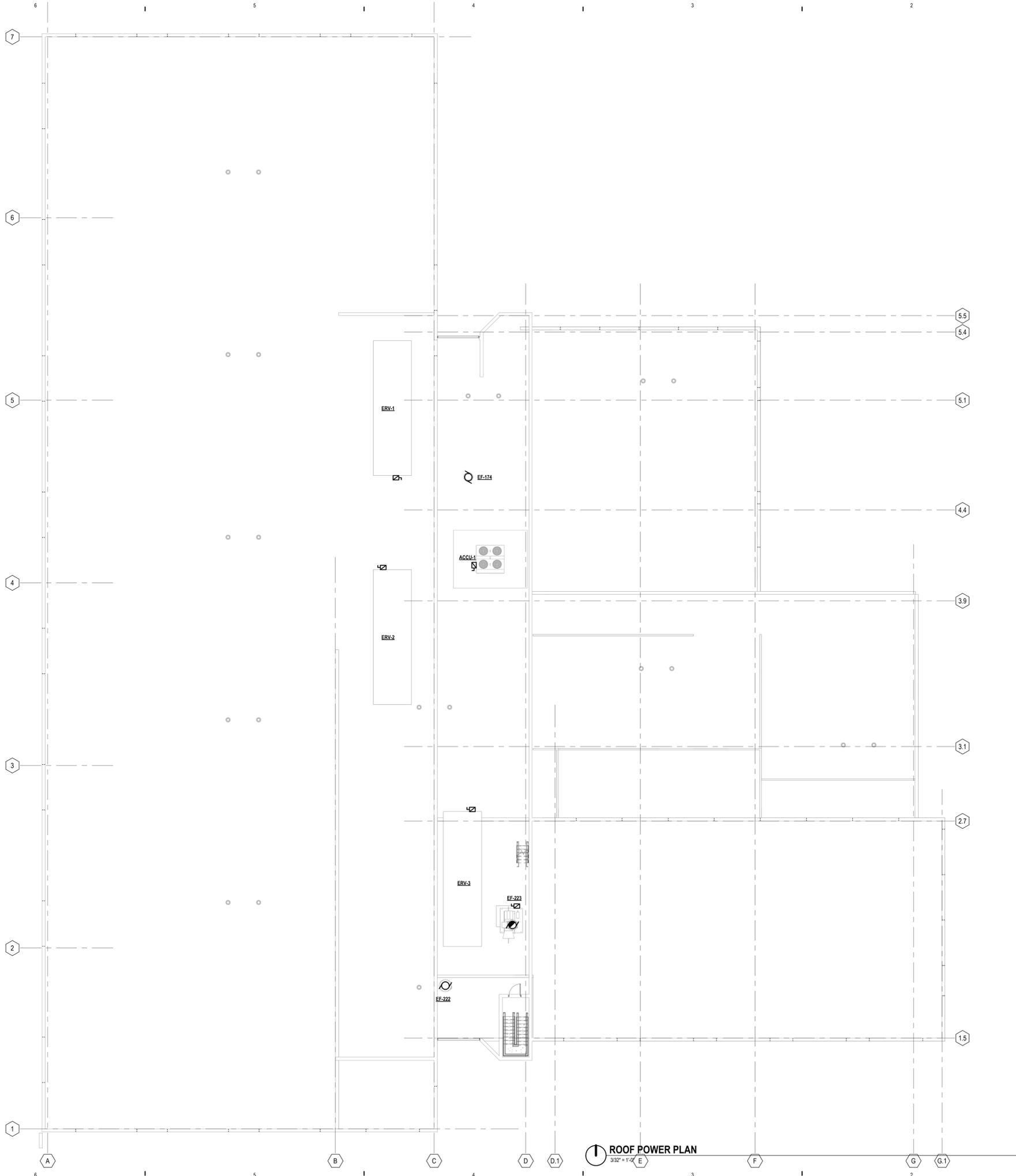
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POWER KEYNOTES

1. (NOTES GO HERE)

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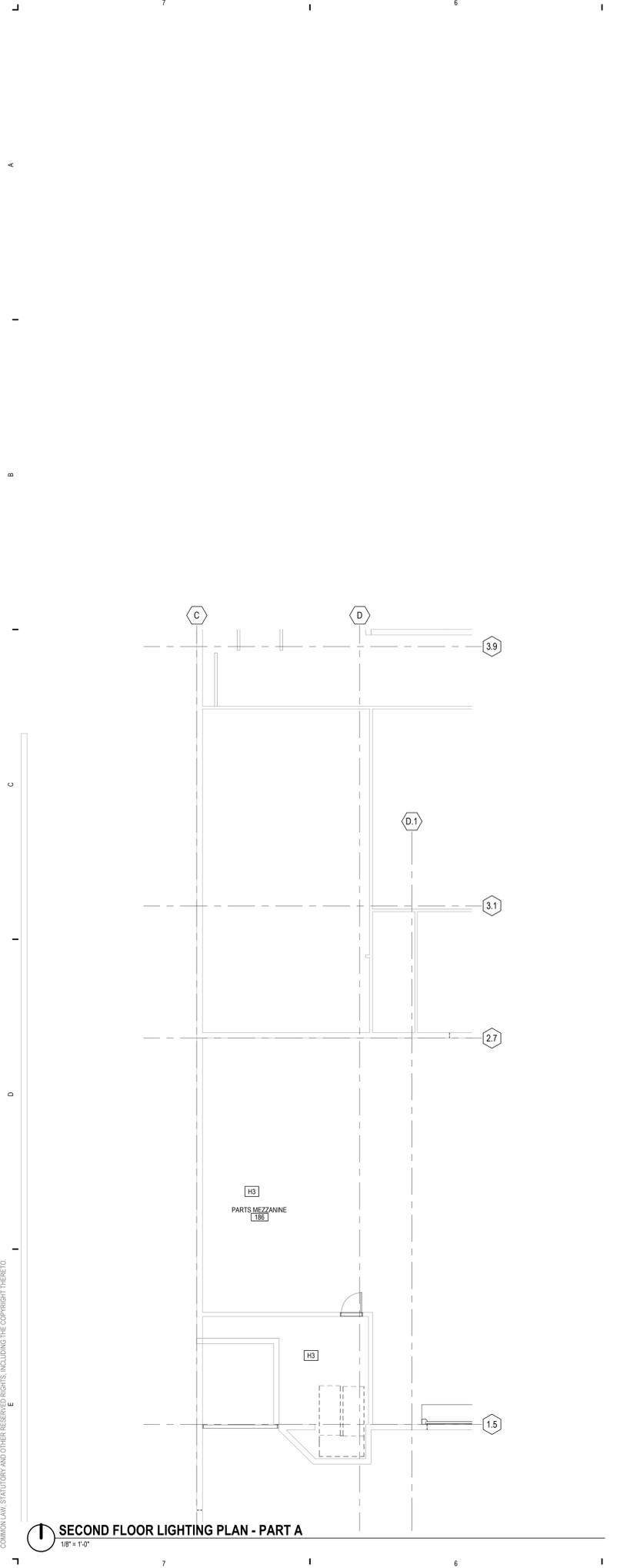
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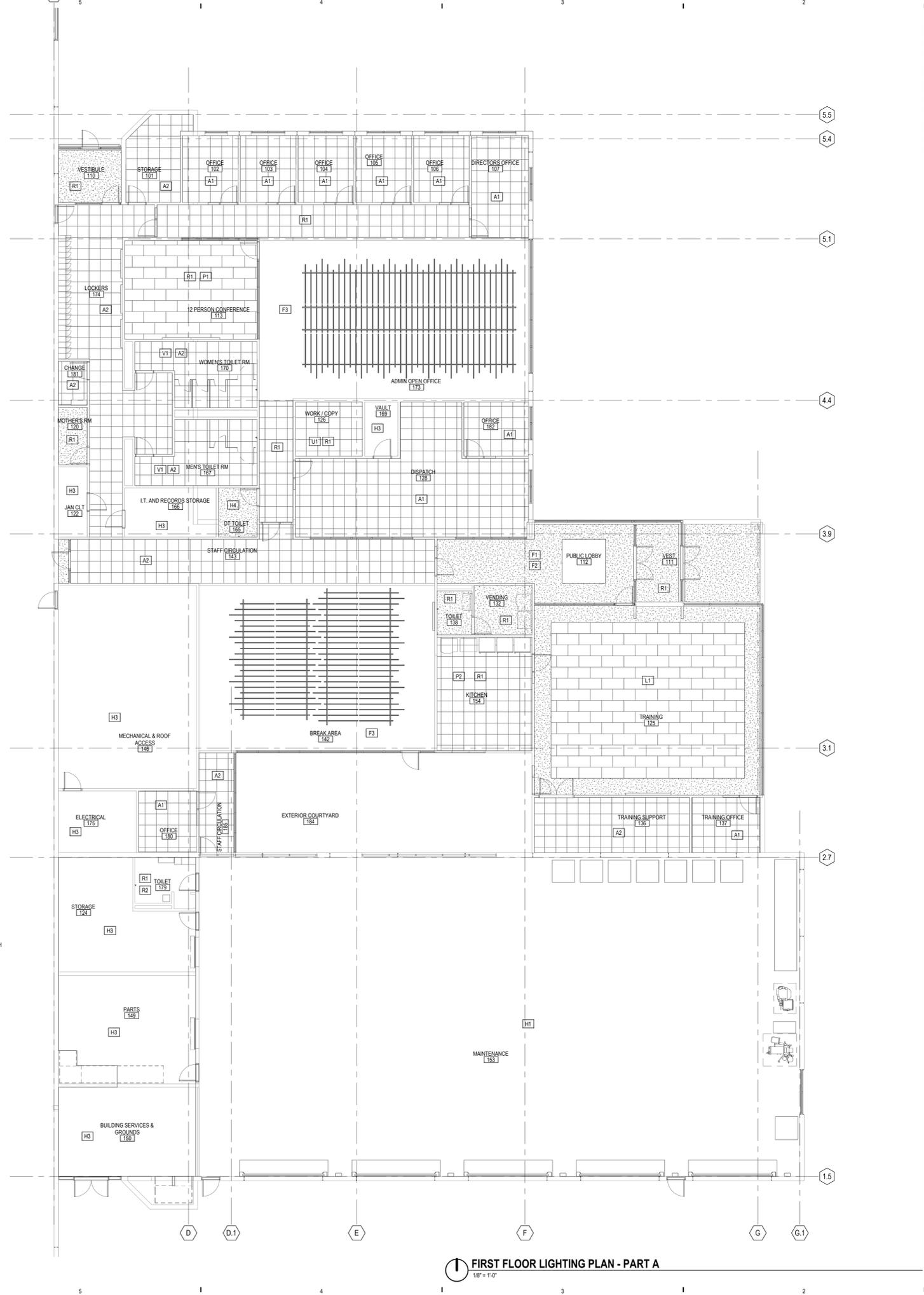
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CHECKED BY
D. HERSCHER

**ROOF POWER PLAN
EP102**



SECOND FLOOR LIGHTING PLAN - PART A
1/8" = 1'-0"



FIRST FLOOR LIGHTING PLAN - PART A
1/8" = 1'-0"

LIGHTING KEYNOTES	
A1	RECESSED 1X4 VOLUMETRIC TROFFER FOCAL POINT
A2	RECESSED 2X2 TROFFER FOCAL POINT
F1	RECESSED LINEAR LED LUMINAIRE FOCAL POINT
F2	RECESSED LINEAR WALL LED LUMINAIRE FOCAL POINT
F3	ACOUSTIC BAFFLE W/ INTEGRATED LIGHTS FOCAL POINT
H1	LED HIGH BAY LUMINAIRE LITHONIA
H2	LED VAPORTITE LUMINAIRE LITHONIA
H3	4 FOOT LED LINEAR LOW BAY LUMINAIRE LITHONIA
H4	HIGH ABUSE 1X4 RECESSED LINEAR KENALL
L1	RECESSES 2' LINEAR JLC TECH
P1	DECORATIVE LINEAR PENDANTS
P2	ROUND DECORATIVE PENDANTS FOCAL POINT
R1	ROUND LED DOWNLIGHT GOTHAM
R2	ROUND LED SHOWER DOWNLIGHT GOTHAM
U1	LINE-VOLTAGE UNDER-CABINET TASK LUMINAIRE ALUZ
V1	RESTROOM VANITY LIGHT

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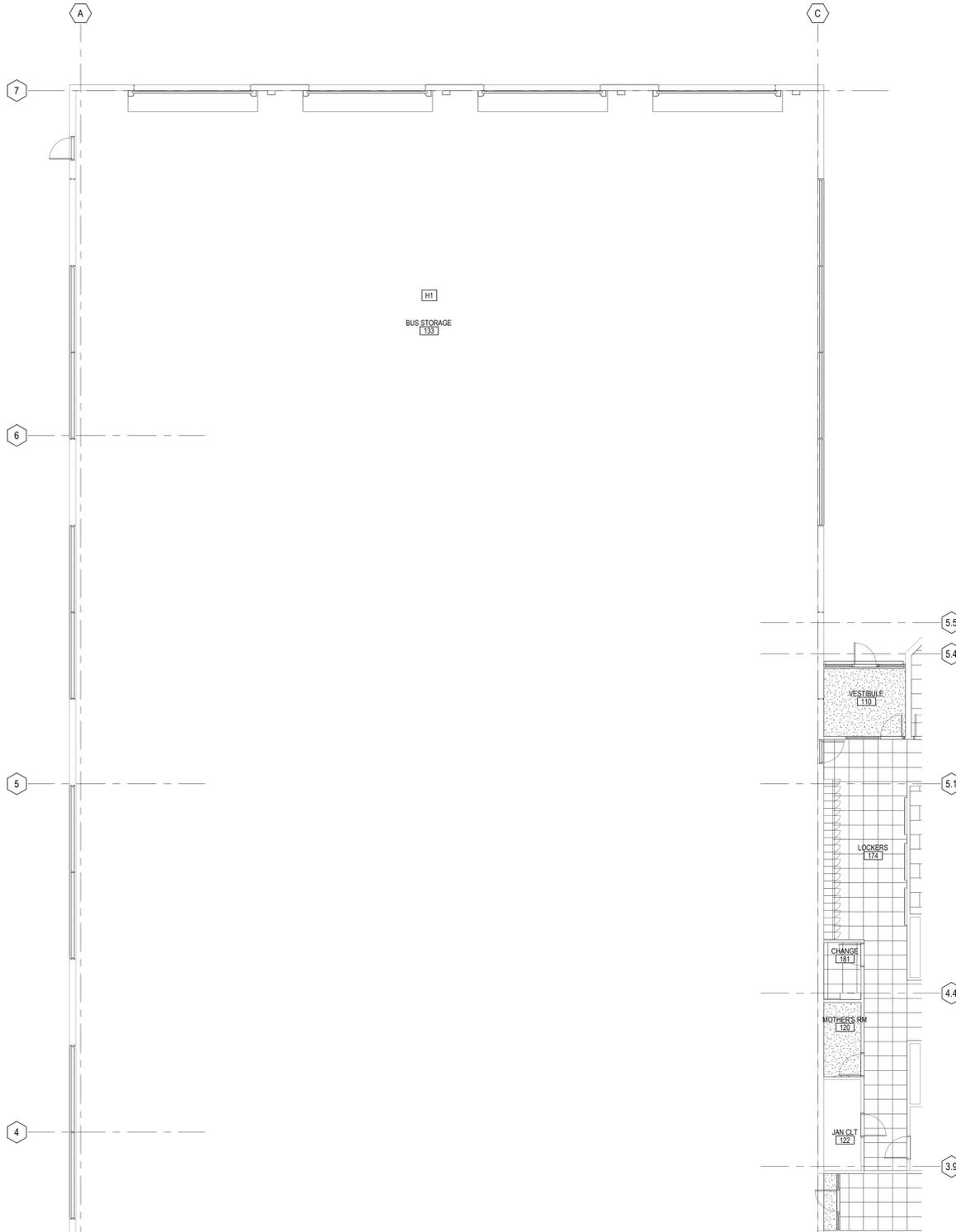
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D. HERSCHER
DRAWN BY
K. NEWK
CHECKED BY
D. HERSCHER

**FIRST FLOOR
LIGHTING PLAN -
PART A
EL101A**

A B C D E

7 6 5 4 3 2 1

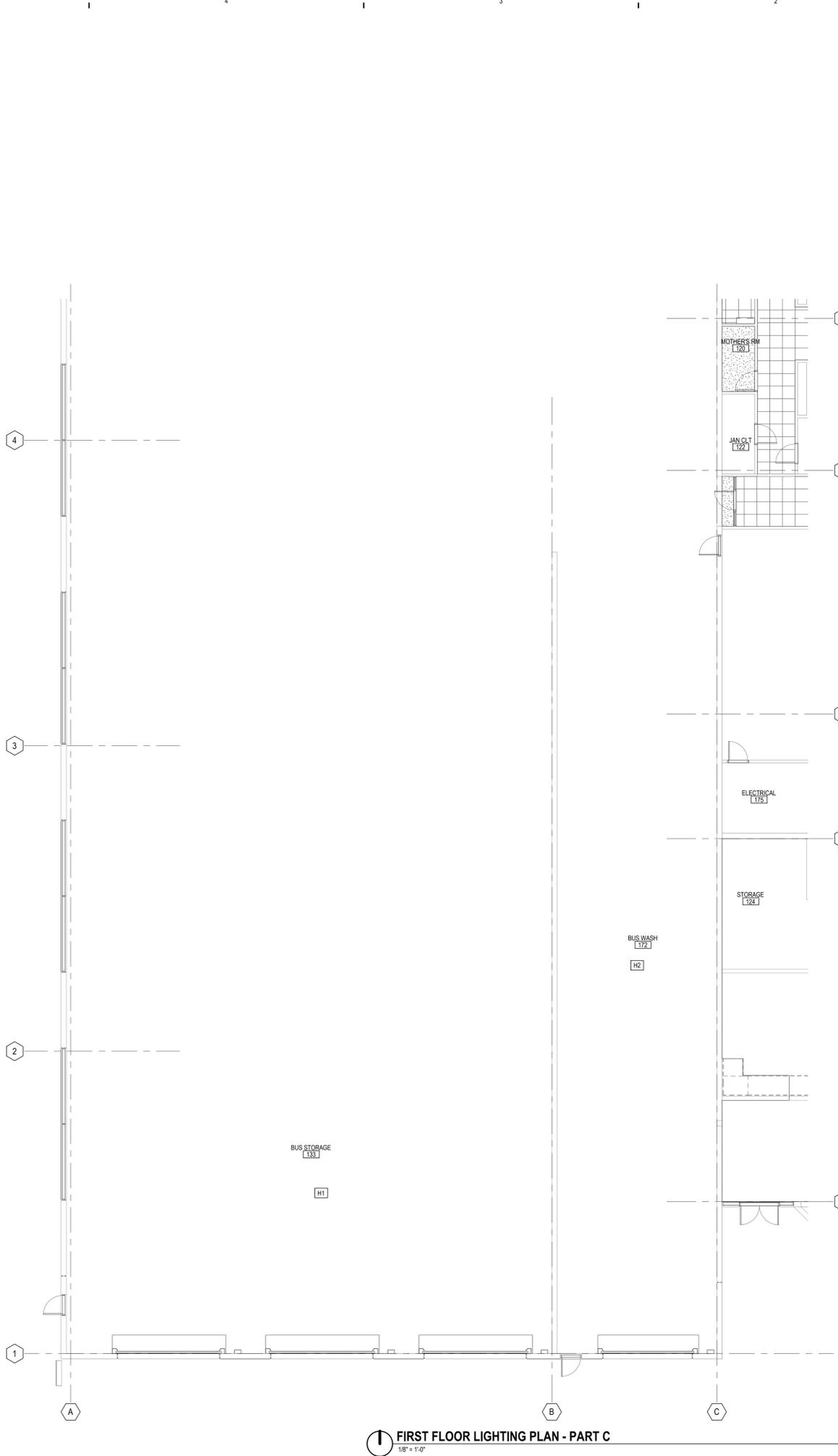


FIRST FLOOR LIGHTING PLAN - PART B
1/8" = 1'-0"

LIGHTING KEYNOTES

A1	RECESSED 1X4 VOLUMETRIC TROFFER FOCAL POINT
A2	RECESSES 2X2 TROFFER FOCAL POINT
F1	RECESSED LINEAR LED LUMINAIRE FOCAL POINT
F2	RECESSED LINEAR WALL LED LUMINAIRE FOCAL POINT
F3	ACOUSTIC BAFFLE W/ INTERGRATED LIGHTS FOCAL POINT
H1	LED HIGH BAY LUMINAIRE LITHONIA
H2	LED VAPORTITE LUMINAIRE LITHONIA
H3	4 FOOT LED LINEAR LOW BAY LUMINAIRE LITHONIA
H4	HIGH ABUSE 1X4 RECESSED LINEAR KENALL
L1	RECESSES 2' LINEAR JLC TECH
P1	DECORATIVE LINEAR PENDANTS
P2	ROUND DECORATIVE PENDANTS FOCAL POINT
R1	ROUND LED DOWNLIGHT GOTHAM
R2	ROUND LED SHOWER DOWNLIGHT GOTHAM
U1	LINE-VOLTAGE UNDER-CABINET TASK LUMINAIRE ALUZ
V1	RESTROOM VANITY LIGHT

A B C D E



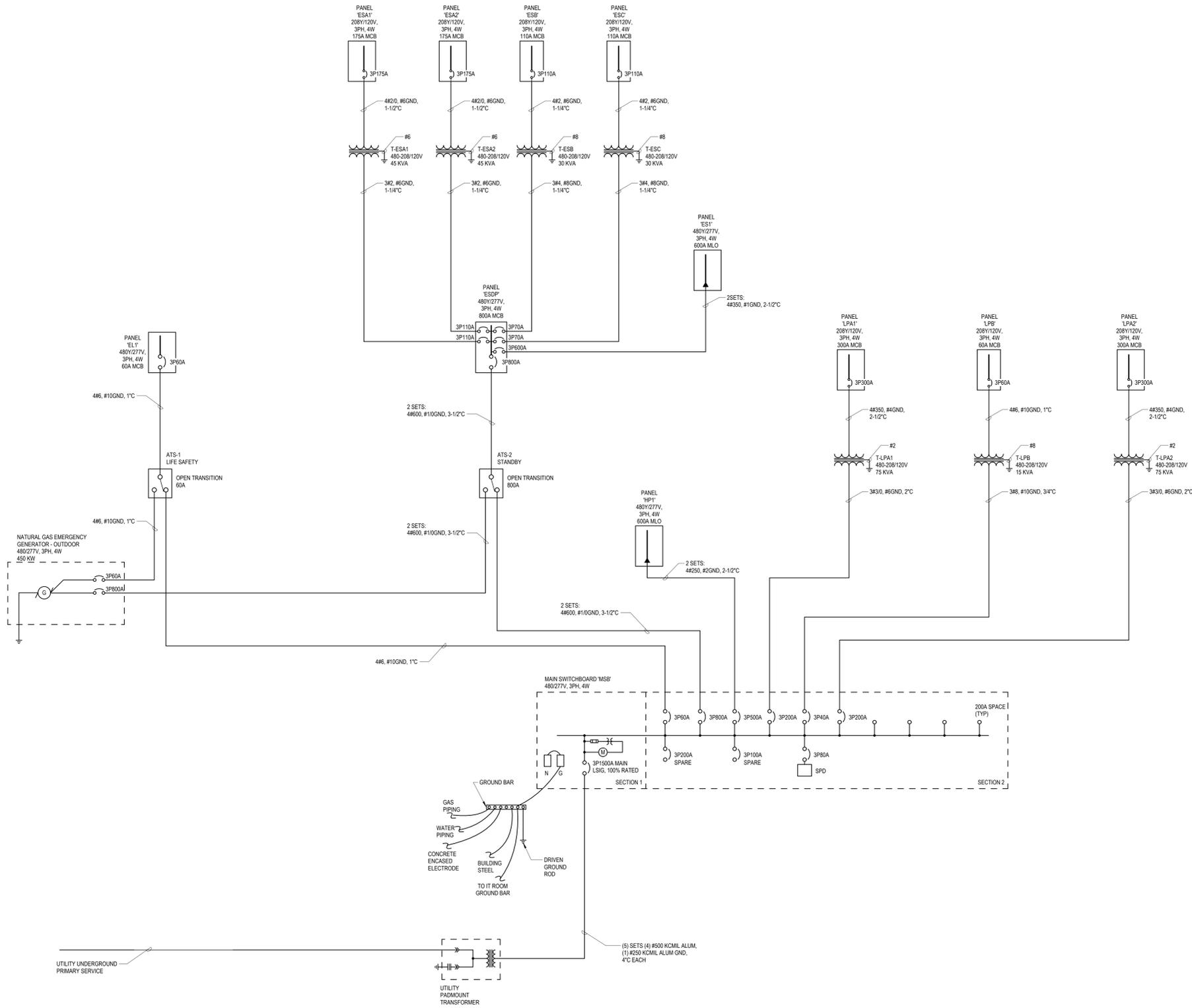
FIRST FLOOR LIGHTING PLAN - PART C
1/8" = 1'-0"

LIGHTING KEYNOTES

A1	RECESSED 1X4 VOLUMETRIC TROFFER FOCAL POINT
A2	RECESSES 2X2 TROFFER FOCAL POINT
F1	RECESSED LINEAR LED LUMINAIRE FOCAL POINT
F2	RECESSED LINEAR WALL LED LUMINAIRE FOCAL POINT
F3	ACOUSTIC BAFFLE W/ INTERGRATED LIGHTS FOCAL POINT
H1	LED HIGH BAY LUMINAIRE LITHONIA
H2	LED VAPORTITE LUMINAIRE LITHONIA
H3	4 FOOT LED LINEAR LOW BAY LUMINAIRE LITHONIA
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U1	LINE-VOLTAGE UNDER-CABINET TASK LUMINAIRE ALUZ
V1	RESTROOM VANITY LIGHT

ELECTRICAL ONE-LINE DIAGRAMS
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E1 ELECTRICAL ONE-LINE DIAGRAM
1/2" = 1'-0"



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ISSUANCE
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D. HERSCHER